

Appendix E2 –  
Cultural Heritage Evaluation Report

571 575 577 579 Kingston Rd W

**CULTURAL HERITAGE EVALUATION REPORT:  
571 KINGSTON ROAD WEST, 575 KINGSTON ROAD WEST,  
577 KINGSTON ROAD WEST AND 579 KINGSTON ROAD WEST**

**TOWN OF AJAX, ONTARIO**

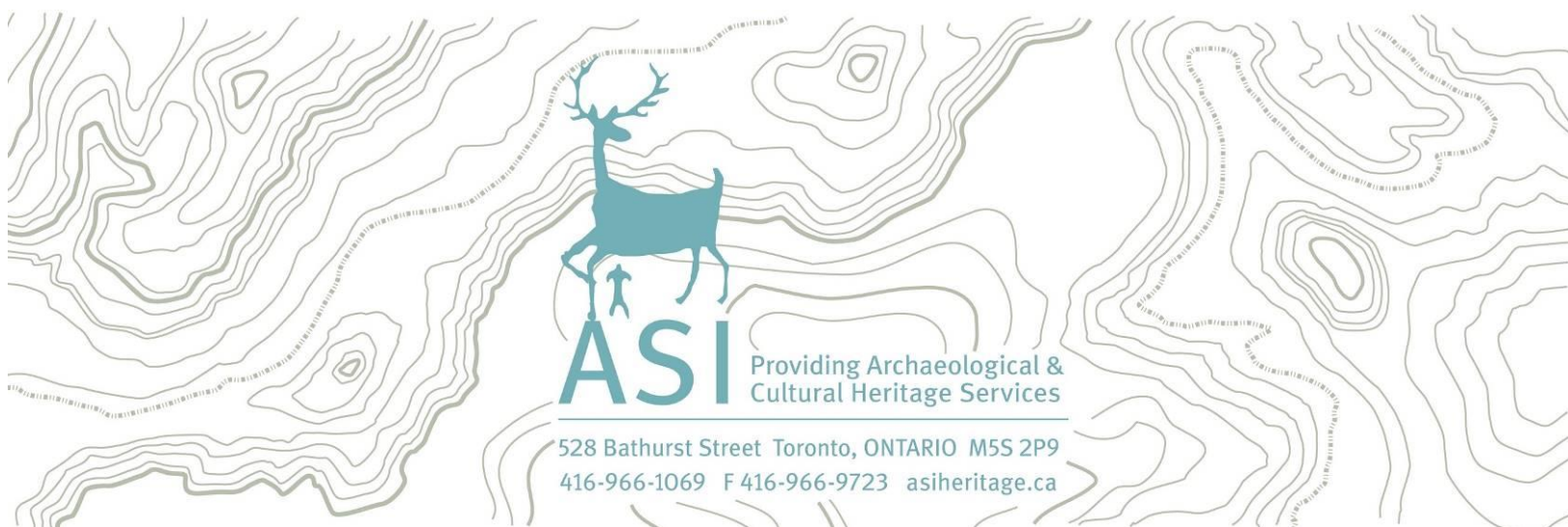
**FINAL REPORT**

Prepared for:

**Parsons**  
625 Cochrane Drive, Suite 300  
Markham, ON L3R 9R9

20CH-137

September 2020 (Revised November 2020 and December 2021; January and February 2022)





Metrolinx acknowledges that it operates on the lands of Indigenous Peoples, including the Anishinaabe, the Haudenosaunee and the Wendat peoples, and that these lands are covered by Treaty.

In particular, we wish to recognize that the proposed work and project study area of the Durham-Scarborough BRT is situated on the treaty territory of the Williams Treaties First Nations, and the Mississaugas of the Credit First Nation, and we acknowledge that the lands are covered by the Gunshot Treaty 1788, the Williams Treaty 1923, and the Williams Treaty Settlement of 2018.\*

Metrolinx has a responsibility to recognize and value the rights of Indigenous Nations and Peoples and conduct business in a manner that is built on the foundation of trust, respect and collaboration. Metrolinx is committed to building meaningful relationships with Indigenous Nations and working towards meaningful reconciliation with the original caretakers of this land. We wish to thank Indigenous Nations for their contributions to these reports.

*\* Notwithstanding the foregoing, nothing in this acknowledgement shall be interpreted so as to indicate Metrolinx's position on any Treaty territory or right.*

## CULTURAL HERITAGE EVALUATION REPORT:

**571 KINGSTON ROAD WEST, 575 KINGSTON ROAD WEST,  
577 KINGSTON ROAD WEST AND 579 KINGSTON ROAD WEST**

**TOWN OF AJAX, ONTARIO**

### EXECUTIVE SUMMARY

ASI was contracted by Parsons on behalf of Metrolinx to conduct a Cultural Heritage Evaluation Report (CHER) for four properties along Kingston Road West in Ajax. These properties include 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West. This CHER is part of the Durham-Scarborough Bus Rapid Transit Project (DSBRT). To date, ASI has completed a Cultural Heritage Report to determine which properties in the DSBRT Project Study Area require assessment for cultural heritage value and interest under Ontario *Regulations 9/06* and *10/06*. These properties were identified as potential built heritage resources that are anticipated to be directly impacted by the DSBRT preliminary design footprint (August 2021) as documented in the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021). As such, a CHER is required to determine if the properties have cultural heritage value or interest under *Ontario Regulation 9/06* and under *Ontario Regulation 10/06*.

571 Kingston Road West is located in the Town of Ajax. The property is listed on the Town of Ajax's Inventory of Non-Designated Heritage Properties. 571 Kingston Road West was evaluated using *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. This evaluation was prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario. This evaluation determined that the property at 571 Kingston Road West meets the criteria outlined in *Ontario Regulation 9/06*, due to its design and physical value, and contextual value. The subject property did not meet the criteria outlined in *Ontario Regulation 10/06*, which considers the subject structure within the provincial context.

575 Kingston Road West is located in the Town of Ajax. The property is listed on the Town of Ajax's Inventory of Non-Designated Heritage Properties. 575 Kingston Road West was evaluated using *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. This evaluation was prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario. This evaluation determined that the property at 575 Kingston Road West meets the criteria outlined in *Ontario Regulation 9/06*, due to its design and physical value, and contextual value. The subject property did not meet the criteria outlined in *Ontario Regulation 10/06*, which considers the subject structure within the provincial context.

577 Kingston Road West is located in the Town of Ajax. The property is listed on the Town of Ajax's Inventory of Non-Designated Heritage Properties. 577 Kingston Road West was evaluated using *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. This evaluation was prepared in consideration of



data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario. This evaluation determined that the property at 577 Kingston Road West meets the criteria outlined in *Ontario Regulation 9/06*, due to its design and physical value, and contextual value. The subject property did not meet the criteria outlined in *Ontario Regulation 10/06*, which considers the subject structure within the provincial context.

579 Kingston Road West is located in the Town of Ajax. The property is listed on the Town of Ajax's Inventory of Non-Designated Heritage Properties. 579 Kingston Road West was evaluated using *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. This evaluation was prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario. This evaluation determined that the property at 579 Kingston Road West meets the criteria outlined in *Ontario Regulation 9/06*, due to its design and physical value, and contextual value. The subject property did not meet the criteria outlined in *Ontario Regulation 10/06*, which considers the subject structure within the provincial context.

Property ownership and/or control of 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West will be confirmed during detailed design.

The following recommendations are proposed for the properties at 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West:

1. As direct impacts are anticipated to the property at 571, 575, 577 and 579 Kingston Road West, a Heritage Impact Assessment (HIA) will be undertaken as early as possible during detailed design, following the Transit Project Assessment Process (TPAP). The HIA will be prepared by a qualified heritage professional in accordance with the Municipal Terms of Reference for HIAs and the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006).
2. Metrolinx Heritage Committee has reviewed the results of the *Ontario Regulations 9/06* and *10/06* evaluations and is in agreement with the results and recommendations of this report. If it is confirmed that the property will be owned or controlled by Metrolinx, the Metrolinx Heritage Committee will issue a Metrolinx Heritage Committee Decision Form.
3. The Final CHER will be submitted to municipal heritage staff and the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) for their records.



## PROJECT PERSONNEL

*Senior Project Manager:*

Lindsay Graves, MA, CAHP  
*Senior Cultural Heritage Specialist | Senior Project  
Manager – Cultural Heritage Division*

*Project Manager:*

Kristina Martens, BA, Dip. Heritage Conservation  
*Cultural Heritage Specialist | Project Manager –  
Cultural Heritage Division*

*Project Coordinator:*

Katrina Thach, Hon. BA  
*Archaeologist | Project Coordinator –  
Environmental Assessment Division*

*Field Reviewer*

Laura Wickett, Hon. BA, Dip. Heritage  
Conservation  
*Cultural Heritage Assistant, Cultural Heritage Division*

Kristina Martens

*Report Preparation:*

Laura Wickett

*Graphics Preparation:*

Eric Bongelli, MES  
*Archaeologist | Geomatics Specialist, Operations  
Division*

*Report Reviewers:*

Kristina Martens

Lindsay Graves



## QUALIFIED PERSONS INVOLVED IN THE PROJECT

*Lindsay Graves, MA, CAHP*

*Senior Cultural Heritage Specialist | Senior Project Manager – Cultural Heritage Division*

The Senior Project Manager for this Cultural Heritage Evaluation Report is **Lindsay Graves** (MA, Heritage Conservation), Senior Cultural Heritage Specialist and Assistant Manager with the Cultural Heritage Division at ASI. She was responsible for: overall project scoping and approach; development and confirmation of technical findings and study recommendations; application of relevant standards, guidelines and regulations; and implementation of quality control procedures. Lindsay is academically trained in the fields of heritage conservation, cultural anthropology, archaeology, and collections management and has over 15 years of experience in the field of cultural heritage resource management. This work has focused on the assessment, evaluation, and protection of above ground cultural heritage resources. Lindsay has extensive experience undertaking archival research, heritage survey work, heritage evaluation and heritage impact assessment. She has also contributed to cultural heritage landscape studies and heritage conservation plans, led heritage commemoration and interpretive programs, and worked collaboratively with multidisciplinary teams to sensitively plan interventions at historic sites/places. In addition, she is a leader in the completion of heritage studies required to fulfil Class EA processes and has served as Project Manager for over 100 heritage assessments during her time at ASI. Lindsay is a member of the Canadian Association of Heritage Professionals.

*Kristina Martens, B.A., Dipl. Heritage Conservation*

*Cultural Heritage Specialist, Assistant Manager – Cultural Heritage Division*

The Project Manager for this report is **Kristina Martens** (B.A., Diploma Heritage Conservation), who is a Cultural Heritage Specialist and Assistant Manager within the Cultural Heritage Division. She was responsible for the day-to-day management activities, including scoping of research activities and site surveys and drafting of study findings and recommendations. She has ten years of experience in the field of cultural heritage planning and management as a conservator and heritage consultant with Vitreous Glassworks and Taylor Hazell Architects prior to joining ASI in 2018. Kristina brings a cultural landscape focus to the heritage planning process and draws on holistic methods for understanding the interrelationships between natural, built and intangible heritage. Kristina has extensive experience conducting field surveys and heritage analysis, including the comprehensive documentation and evaluation of cultural heritage resources in urban and rural settings. She brings together her experience in research, project management, documentation, built form and spatial analysis, architectural history, and built heritage conservation with the practical application of Ontario Regulation 9/06 and 10/06 of the Ontario Heritage Act and writing statements of cultural heritage value. Kristina is a graduate of the prestigious Willowbank School.

*Laura Wickett, BA (Hon.), Dipl. Heritage Conservation*

*Cultural Heritage Analyst | Project Manager – Cultural Heritage Division*

The Project Manager for the Durham-Scarborough Bus Rapid Transit Project (DSBRT) Cultural Heritage Evaluation Reports is **Laura Wickett** (BA (Hon.), Diploma Heritage Conservation), who is a Cultural Heritage Analyst and Project Manager within the Cultural Heritage Division at ASI. She was responsible for project coordination, scheduling, and stakeholder communication. Trained in the theoretical and



technical aspects of heritage conservation, Laura has five years' experience working in the field of cultural heritage resource management. She began working in ASI's Cultural Heritage Division as a Cultural Heritage Technician in 2017, providing support for a range of cultural heritage assessment reports, including Cultural Heritage Resource Assessments, Cultural Heritage Evaluation Reports, Heritage Impact Assessments, and Secondary Plan assessments. She has also contributed to Heritage Conservation District studies, Cultural Heritage Landscape inventories and Heritage Register reviews.





## GLOSSARY

Term	Definition
Built Heritage Resource (BHR)	“...a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i> , or that may be included on local, provincial, federal and/or international registers” (Government of Ontario, 2020d, p. 41).
<i>Ontario Regulation 9/06</i> and <i>Ontario Regulation 10/06</i>	The two criteria sets share a requirement to fully understand the history, design and associations of all cultural heritage resources of the properties. The following differences between the two sets of criteria should be noted: <ul style="list-style-type: none"> <li>• <i>Ontario Regulation 9/06</i> requires a consideration of the community context; and</li> <li>• <i>Ontario Regulation 10/06</i> requires a consideration of the provincial context.</li> </ul>
Potential Cultural Heritage Resource	A potential cultural heritage resource is a property that has the potential for cultural heritage value or interest. This can include properties/project area that contain a parcel of land that is the subject of a commemorative or interpretive plaque, is adjacent to a known burial site and/or cemetery, is in a Canadian Heritage River Watershed, or contains buildings or structures that are 40 or more years old (Ministry of Tourism, Culture and Sport, 2016).
Significant	With regard to cultural heritage and archaeology resources, significant means “resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the <i>Ontario Heritage Act</i> . While some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation” (Government of Ontario, 2020d, p. 51).

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## **1.0 INTRODUCTION**

ASI was contracted by Parsons on behalf of Metrolinx to conduct a Cultural Heritage Evaluation Report (CHER) for four properties along Kingston Road West in Ajax. These properties are 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West (Figure 1 and Figure 2). This CHER is being undertaken as part of the Durham-Scarborough Bus Rapid Transit Project (DSBRT). These properties were identified as potential built heritage resources that are anticipated to be directly impacted by the DSBRT preliminary design footprint (August 2021) as documented in the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021). As such, a CHER is required to determine if the properties have cultural heritage value or interest under *Ontario Regulation 9/06* and under *Ontario Regulation 10/06*.

The scope of this CHER is guided by the Ministry of Tourism, Culture and Sports' (now administered by the Ministry of Heritage, Tourism, Sport and Culture Industries) *Ontario Heritage Tool Kit* (2006) the Town of Ajax *Official Plan* (2016), and is compliant with the *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014).

Property ownership and/or control of 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West will be confirmed during detailed design.

### **1.1 Historical Summary**

The four subject properties are historically located in the former Village of Pickering, Township of Pickering, County of Ontario.

#### **1.1.1 571 Kingston Road West**

The building at 571 Kingston Road West was built in 1875 for George O'Leary after he purchased the property in 1874. Upon his death in 1881 it passed to his daughters. It was purchased by Richard H. Bunting in 1905. No information on property ownership for subsequent years was available.

#### **1.1.2 575 and 577 Kingston Road West**

The semi-detached building at 575 and 577 Kingston Road West was built in 1877, but it is not known by whom. The property was owned by George O'Leary from 1874 to 1881. Upon his death in 1881 it passed to his daughters. In 1890 part of the lot that would become the subject property was sold to William Tetes Hartrick. Joshua Nicholson Richardson owned the property from 1904 to 1921. Following his death in 1921, 1/4-acre was sold to Robert Somerville, who then granted 1/8 acre to Mary Ellen, Sarah and Hannah Jane Law that same year. It would appear that Somerville had purchased the whole semi-detached house and then sold one half of it. 575 Kingston Road West changed owners several times over the remainder of the twentieth century. The subsequent chain of ownership for 577 Kingston Road West is not clear at this time.



### 1.1.3 579 Kingston Road West

The building at 579 Kingston Road West was built in 1921. While it appears that the subject property at one time formed part of George O’Leary’s property, no information was found in the parcel register for the years 1874-1920. In 1920, Edward J. Walsh and his wife sold the property to David Annan (1824-1926). The house was likely built for Annan. The house passed to John Annan (relation to David unknown), changed ownership in 1956 following John Annan’s death and was sold to the current owner in 1985.



Figure 1: Location of the subject properties within the Town of Ajax.

(CC-BY-SA ESRI Street Maps)

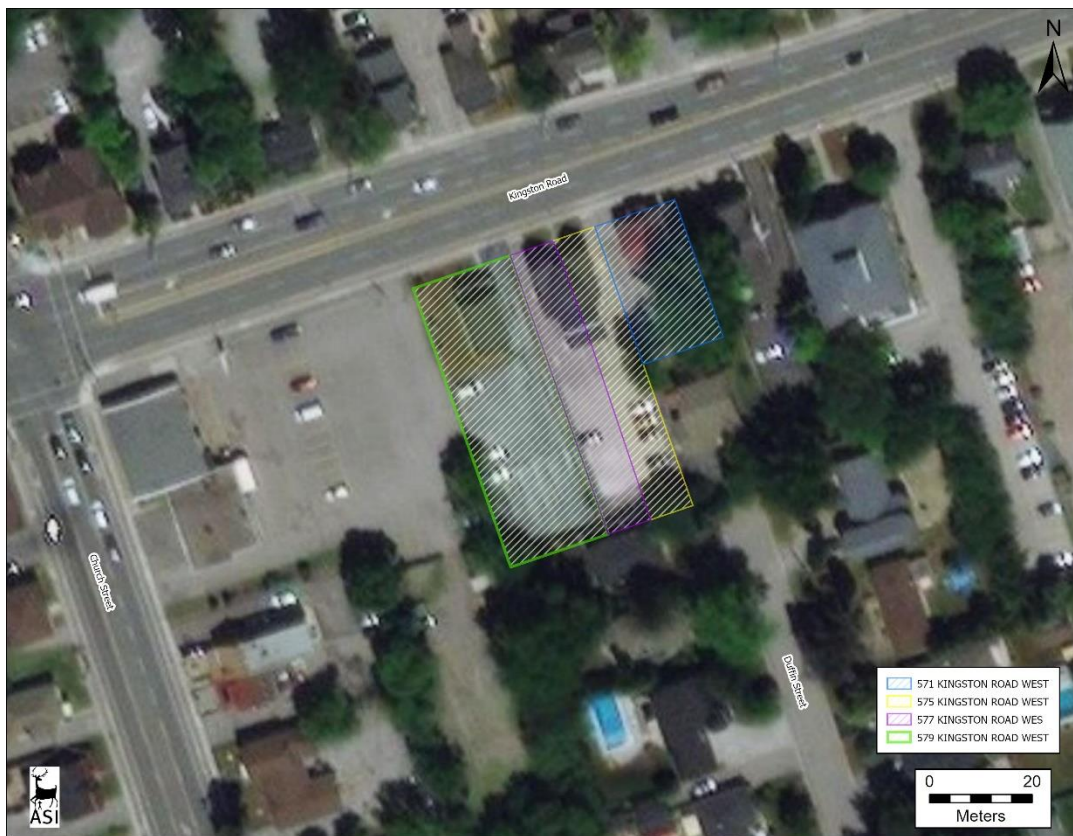


Figure 2: Aerial photograph showing location of subject properties within the Town of Ajax.

## 1.2 Description of Property

### 1.2.1 571 Kingston Road West

The property at 571 Kingston Road West is located on the south side of Kingston Road West approximately 115 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The property contains a single detached residential building which has been converted for commercial use. The building was constructed in 1875 (Town of Ajax n.d.).

The building at 571 Kingston Road West is a one-and-a-half storey residential building with a rectangular footprint and a rear tail. The building is designed in the Gothic Revival architectural style and retains its stone foundation, fenestration, end gable roof with front facing centre gable, decorative vergeboard and Gothic arch window with original wooden divided sash. The building is clad in vinyl siding and, other than the gable window, the windows have been replaced with aluminum sash. The wood frames and the sills appear to have been wrapped in aluminum cladding. The property has a large walnut tree in the rear yard.





Figure 3: 571 Kingston Road West (building in centre), facing south.

### **1.2.2 575 and 577 Kingston Road West**

The properties at 575 and 577 Kingston Road West are located on the south side of Kingston Road West, approximately 95 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The properties contain a semi-detached residential building which has been converted for commercial uses. The building was constructed in 1877 (Town of Ajax n.d.).

The building at 575 and 577 Kingston Road West is a two-and-a-half storey semi-detached residential building with a rectangular footprint and has a reflected plan. The building is wood frame construction on a stone foundation with red brick cladding and a hipped roof. There are two full height projecting bays with front-facing gables. An inset porch protects the main entrances. The design and detailing of the building are typical of the Victorian period and incorporate some elements of the Italianate architectural style.



Figure 4: 575 (left) and 577 (right) Kingston Road West, facing south.

### **1.2.3 579 Kingston Road West**

The property at 579 Kingston Road West is located on the south side of Kingston Road West, approximately 70 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The property contains a single detached residential building constructed in 1921 (Town of Ajax, n.d.b) which has been converted for commercial use.

The building at 579 Kingston Road West is a two-storey wood frame residential building with a rectangular footprint. The building is designed in the Edwardian Classical architectural style and retains its red brick cladding, front gable roof with flared eaves, prominent porch with brick piers and squared wooden half-columns and large window openings. The foundation has been parged with cement.





Figure 5: 579 Kingston Road West (building in centre), facing south.

## 2.0 METHODOLOGY AND SOURCES

### 2.1 Legislation and Policy Context

This cultural heritage evaluation considers cultural heritage resources in the context of improvements to specified areas, pursuant to the Ontario *Environmental Assessment Act* (Environmental Assessment Act, R.S.O., 1990). Pursuant to the *Environmental Assessment Act*, applicable infrastructure projects are subject to assessment to determine related impacts on above ground cultural heritage resources (Ministry of Transportation, 2007). Infrastructure projects have the potential to impact cultural heritage resources in a variety of ways such as loss or displacement of resources through removal or demolition and the disruption of resources by introducing physical, visual, audible, or atmospheric elements that are not in keeping with the resources and/or their setting.

The analysis used throughout the cultural heritage resource assessment process addresses cultural heritage resources under other various pieces of legislation and their supporting guidelines:

- *Environmental Assessment Act* (Environmental Assessment Act, R.S.O., 1990)
- *Ontario Heritage Act* (Ministry of Culture, 1990)
- *Standards and Guidelines for Conservation of Provincial Heritage Properties* (Ministry of Tourism, Culture and Sport, 2010)
- *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014)
- *Ontario Heritage Tool Kit* (Ministry of Culture, 2006)

- *Planning Act* (Planning Act, R.S.O. 1990, c. P.13, 1990) and the 2020 *Provincial Policy Statement* (Government of Ontario, 2020d)

## **2.2 Approach to Cultural Heritage Evaluation Report**

The scope of a CHER is guided by the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006), is compliant with the *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014) and municipal Terms of Reference, if available. The Town of Ajax does not have Terms of Reference for the preparation of CHERs.

Generally, CHERs include the following components:

- A general description of the history of the study areas as well as detailed historical summaries of property ownership and building(s) development;
- A description of the cultural heritage landscapes and/or built heritage resources being evaluated as part of this report;
- Representative photographs of the exterior and interior of a building or structure, and character-defining architectural details;
- A cultural heritage resource evaluation guided by the *Ontario Heritage Act* criteria;
- A summary of heritage attributes;
- Historical mapping, photographs; and
- A location plan.

Site visits to each of the subject structures were conducted on September 3 and 4, 2020 by Laura Wickett and Kristina Martens, both of ASI. The site visits included photographic documentation of the subject properties from the public right-of-way, as well as photographic documentation of nearby properties for the purposes of comparative analysis.

Using background information and data collected during the site visits, the cultural heritage resources are evaluated using criteria contained within *Ontario Regulations 9/06* and *10/06*. The criteria requires a full understanding, given the resources available, of the history, design and associations of all cultural heritage resources of the properties.

## **2.3 Research Limitations and List of Key Sources**

### **2.3.1 Research Limitations**

Research for this report was conducted in August and September 2020, during the COVID-19 global pandemic. Research limitations resulted from mitigation measures recommended by federal, provincial, and local governments. Of particular impact were the restrictions resulting from the Provincial State of Emergency declared on 17 March 2020, the subsequent extensions on 14 April, 9 May, 2 June and 9 July, and the extension of orders under the Reopening Ontario Act on 20 August (Government of Ontario, 2020a, 2020b, 2020c, 2020e, 2020f, 2020g), making all non-digitized archival material largely unavailable



for review. Due to this, tax assessment rolls were not accessible for this report.<sup>1</sup> Land abstracts were available online, however some scanned pages were illegible, and some pages and books appeared to be missing, which has left gaps in the land use history.

### 2.3.2 Key Sources

Background historical research, which includes the consultation of primary and secondary source documents, photos, and historical mapping, was undertaken to identify early settlement patterns and broad agents or themes of change in the study areas. In addition, archival research was undertaken (primarily online) at the following libraries and archives to build upon information gleaned from other primary and secondary materials:

- Records held by the Town of Ajax heritage staff<sup>2</sup>
- Ajax Public Library Digital Archive<sup>3</sup>
- Pickering Public Library Local History Collection Digital Archive<sup>4</sup>
- Archives of Ontario<sup>5</sup>
- Library and Archives Canada<sup>6</sup>

Available federal, provincial, and municipal heritage inventories and databases were also consulted to obtain information about the structures. These included:

- The Town of Ajax Heritage Register<sup>7</sup>;
- The Town of Ajax Inventory of Non-Designated Heritage Properties<sup>8</sup>
- The Ontario Heritage Trust's databases available online: Ontario's Places of Worship Inventory; *Ontario Heritage Act* Register (Part IV and Part V Designations); Plaque Database; and Conservation Easement Inventory<sup>9</sup>;
- Parks Canada's Directory of Federal Heritage Designations, an on-line database that identifies National Historic Sites, National Historic Events, National Historic People, Heritage Railway Stations, Federal Heritage Buildings, and Heritage Lighthouses (Parks Canada, n.d.b); and

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<sup>1</sup> An attempt was made to see assessment records in January 2022; however, the microfiche readers were closed to the public.

<sup>2</sup> Visited in person Sept 10 2020

<sup>3</sup> Consulted August 28, 2020 at <http://images.ourontario.ca/ajax/search>

<sup>4</sup> Consulted August 28, 2020 at <https://corporate.pickering.ca/PLHCWebLink/Welcome.aspx?cr=1>

<sup>5</sup> Consulted August 31, 2020 at: [http://ao.minisisinc.com/scripts/mwimain.dll?get&file=\[ARCHON\]search.htm](http://ao.minisisinc.com/scripts/mwimain.dll?get&file=[ARCHON]search.htm)

<sup>6</sup> Consulted August 31, 2020 at: <http://www.collectionscanada.gc.ca/lac-bac/search/arch>

<sup>7</sup> Consulted August 28, 2020 at: <https://www.ajax.ca/en/play-and-discover/resources/History-Heritage-Archives/Individually-Designated-Properties.pdf>

<sup>8</sup> Consulted August 28, 2020 at: <https://www.ajax.ca/en/play-and-discover/resources/History-Heritage-Archives/Inventory-of-Non-Designated-Heritage-Properties.pdf>

<sup>9</sup> Consulted August 27, 2020 at: <https://www.heritagetrust.on.ca/en/pages/tools/>



- Parks Canada's Historic Places website, a searchable on-line register that provides information on historic places recognized for their heritage value at the local, provincial, territorial, and national levels (Parks Canada, n.d.a).

A full list of references consulted can be found in Section 12.0 of this document.

### **3.0 HERITAGE RECOGNITIONS**

#### **3.1 Municipal**

The subject properties at 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West are listed on the Town of Ajax's *Inventory of Non-Designated Heritage Properties* (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018b).

#### **3.2 Provincial**

The subject properties at 571, 575, 577 and 579 Kingston Road West are not subject to heritage recognition at the provincial level for the following reasons:

- The subject properties are not Provincial Heritage Properties; and
- The subject properties have not been commemorated by the Ontario Heritage Trust.

#### **3.3 Federal**

The subject properties at 571, 575, 577 and 579 Kingston Road West are not subject to heritage recognition at the federal level for the following reasons:

- The subject properties do not contain a Federal Heritage Building; and
- The subject properties do not contain a National Historic Site.

### **4.0 ADJACENT LANDS**

One of the four subject properties is adjacent<sup>10</sup> to a protected heritage property. 571 Kingston Road West is adjacent to 567 Kingston Road West (Figure 6) which is listed on the Town of Ajax's *Inventory of Non-Designated Heritage Properties* (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018b). The property at 567 Kingston Road West is a single-detached residential building known as the R.A. Bunting House, constructed in 1905.

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<sup>10</sup> The definition of adjacent used here is from the Provincial Policy Statement: "For the purposes of policy 2.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan." (Ministry of Municipal Affairs and Housing). The Town of Ajax Official Plan specifies this definition.







Figure 6: 567 Kingston Road West.

## 5.0 SUMMARY OF ARCHAEOLOGICAL ASSESSMENTS

The *Stage 1 Archaeological Assessment – Durham-Scarborough Bus Rapid Transit Project (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; City of Oshawa; and Town of Ajax; Town of Whitby, Ontario – Existing Conditions* (ASI 2019) was completed in October 2019. The *Stage 1 Archaeological Assessment Durham-Scarborough Bus Rapid Transit Project Various Lots and Concessions, (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; Town of Ajax; Town of Whitby; and City of Oshawa, Ontario* (ASI, 2022) was completed in March 2022.

According to the above-noted Stage 1 report (ASI, 2022), the subject properties at 571 Kingston Road West, 575 Kingston Road West, and 577 Kingston Road West were found to be disturbed with no potential. The subject property at 579 Kingston Road West was found to require test pit survey. These findings are only for the portion of the subject properties which are covered by the Project Study Area and are not an evaluation of the entire property parcel.

In the general vicinity of the subject properties, St. George's Anglican Church Cemetery at 77 Randall Drive in Ajax was identified as a property requiring Stage 3 cemetery investigation within lands 10 metres from the cemetery properties (ASI, 2022).

More detailed information about archaeological potential in the study area can be found in the above reports.

## 6.0 COMMUNITY INPUT

### 6.1 Relevant Agencies/Stakeholders

As part of the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions: City of Toronto and Durham Region, Ontario* (ASI, 2021), stakeholder groups were contacted to collect information relating to this project. Heritage staff at the Town of Ajax and relevant agencies were contacted through email in October and November 2019, to confirm the presence of previously identified cultural heritage resources in the study area, and to inquire if there are any ‘in progress’ Part IV or Municipal Heritage Register properties in the study area. Heritage staff at the Town of Ajax were also contacted in August and September 2020 as part of this CHER to request information relating to the subject properties. See Table 1 for a list of organizations contacted and a description of information received.

The draft CHER was submitted to the Town of Ajax and its Heritage Advisory Committee for review and comment. Feedback from the Town and Heritage Advisory Committee was integrated into the final CHER as appropriate.

Table 1: Results of Agency Data Collection

Contact Name/ Position	Organization	Contact Information	Date(s) of Communications	Description of Information Received
Michael Sawchuck Senior Planner	Town of Ajax	<a href="mailto:heritage@ajax.ca">heritage@ajax.ca</a>	December 2021, August and September 2020, September 2019	Provided PDF files and paper records regarding the listed properties at 571, 575, 577 and 579 Kingston Road West. Advised that the Ajax Heritage Advisory Committee be engaged on this project, with Michael Sawchuck as the contact person. Provided further comments on the November 2021 update of the CHER.
Gary Muller Director of Planning	Regional Municipality of Durham	<a href="mailto:Gary.muller@durham.ca">Gary.muller@durham.ca</a>	September 2019	Response confirmed that within the Durham Region, heritage recognition is of municipal expertise.
Karla Barboza Team Lead, Heritage	Ministry of Heritage, Sport, Tourism and Culture Industries	<a href="mailto:Karla.Barboza@ontario.ca">Karla.Barboza@ontario.ca</a>	September 2019; 20 and 25 May 2020; and 01 June 2020	Response confirmed that none of the subject properties are provincial heritage properties or adjacent to provincial heritage properties.
Kevin De Mille Heritage Planner	Ontario Heritage Trust	<a href="mailto:Kevin.DeMille@heritagetrust.on.ca">Kevin.DeMille@heritagetrust.on.ca</a>	September 2019	Confirmed that none of the subject properties nor adjacent properties are Trust-owned or subject to OHT conservation easements.

Francis M. Chua	Curve Lake First Nation	<a href="mailto:francis@francischua.com">francis@francischua.com</a>	June 18, 2021	Response noted that the report contains limited context pertaining to Indigenous and Michi Saagiig (Mississauga) presence on the land and contributions to the region's settlement and development of the landscape.
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## 6.2 Public Meetings/Public Consultation

This CHER will be made available for public review following the TPAP Notice of Completion in accordance with *Ontario Regulation 231/08*. Consultation with the public regarding the cultural heritage component of the DSBRT project has been undertaken during a series of Public Information Centres (PICs): PIC #2 in November 2019; PIC #3 in September 2020; and PIC #4 in October 2021. Specific design plans pertinent to these properties were presented at PIC #3 and PIC #4.

## 6.3 Agency Review

The draft CHER was submitted to the Town of Ajax and its Heritage Advisory Committee in October 2020. Comments and feedback were received and incorporated into this report in November 2020. Additional comments from the Town of Ajax were received and incorporated into this report in January 2022. The CHER was also submitted to the Metrolinx Heritage Committee and the MHSTCI for review and comment. Feedback was received in January 2022 and incorporated into the CHER.

## 6.4 Indigenous Nations Engagement

The draft CHER was submitted in April 2021 to the following Indigenous Nations: Alderville First Nation; Beausoleil First Nation; Chippewas of Georgina Island; Chippewas of Rama First Nation; Curve Lake First Nation; Hiawatha First Nation; Huron-Wendat Nation; Kawartha Nishnawbe First Nation; Mississaugas of the Credit First Nation; and Mississaugas of Scugog Island First Nation. Comments were received from Curve Lake First Nation in June 2021. Any additional feedback received has been incorporated into the CHER.

## 7.0 DISCUSSION OF HISTORICAL OR ASSOCIATIVE VALUE

This section provides a brief summary of historical research. A review of available primary and secondary source material was undertaken to produce a contextual overview of the study area, including a general description of Indigenous land use, and Euro-Canadian settlement.



## 7.1 Indigenous Peoples and Settlement

Southern Ontario has been occupied by human populations since the retreat of the Laurentide glacier approximately 13,000 years ago, or 11,000 Before the Common Era (B.C.E.) (Ferris, 2013).<sup>11</sup> During the Paleo period (c. 11,000 B.C.E. to 9,000 B.C.E.), groups tended to be small, nomadic, and non-stratified. The population relied on hunting, fishing, and gathering for sustenance, though their lives went far beyond subsistence strategies to include cultural practices including but not limited to art and astronomy. Fluted points, beaked scrapers, and gravers are among the most important artifacts to have been found at various sites throughout southern Ontario, and particularly along the shorelines of former glacial lakes. Given the low regional population levels at this time, evidence concerning Paleo-Indian period groups is very limited (Ellis & Deller, 1990).

Moving into the Archaic period (c. 9,000 B.C.E. to 1,000 B.C.E.), many of the same roles and responsibilities continued as they had for millennia, with groups generally remaining small, nomadic, and non-hierarchical. The seasons dictated the size of groups (with a general tendency to congregate in the spring/summer and disperse in the fall/winter), as well as their various sustenance activities, including fishing, foraging, trapping, and food storage and preparation. There were extensive trade networks which involved the exchange of both raw materials and finished objects such as polished or ground stone tools, beads, and notched or stemmed projectile points. Furthermore, mortuary ceremonialism was evident, meaning that there were burial practices and traditions associated with a group member's death (Ellis et al., 2009; Ellis & Deller, 1990).

The Woodland period (c. 1,000 B.C.E. to 1650 C.E.) saw several trends and aspects of life remain consistent with previous generations. Among the more notable changes, however, was the introduction of pottery, the establishment of larger occupations and territorial settlements, incipient horticulture, more stratified societies, and more elaborate burials. Later in this period, settlement patterns, foods, and the socio-political system continued to change. A major shift to agriculture occurred in some regions, and the ability to grow vegetables and legumes such as corn, beans, and squash ensured long-term settlement occupation and less dependence upon hunting and fishing. This development contributed to population growth as well as the emergence of permanent villages and special purpose sites supporting those villages. Furthermore, the socio-political system shifted from one which was strongly kinship based to one that involved tribal differentiation as well as political alliances across and between regions (Birch & Williamson, 2013; Dodd et al., 1990; Ellis & Deller, 1990; Williamson, 1990).

The arrival of European trade goods in the sixteenth century, Europeans themselves in the seventeenth century, and increasing settlement efforts in the eighteenth century all significantly impacted traditional ways of life in Southern Ontario. Over time, war, disease and colonization efforts, contributed to death, dispersion, and displacement of many Indigenous peoples across the region. The Euro-Canadian population grew in both numbers and power through the eighteenth and nineteenth centuries. In many areas, Treaties between colonial administrators and First Nations representatives began to be initiated. Additional colonization practices began, such as the establishment of the *Indian Act* (1876), forced

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<sup>11</sup> While many types of information can inform the precontact settlement of Ontario, such as oral traditions and histories, this summary provides information drawn from archaeological research conducted in southern Ontario over the last century.





relocation to reserve lands and Indian Residential Schools began. These practices caused irreparable harm and devastation to the fabric of Indigenous society, ways of life and cultural practices.

The Project Study Area is within the Johnson-Butler Purchases and within the traditional territory of the Michi Saagiig and Chippewa Nations, collectively known as the Williams Treaties First Nations, including the Mississaugas of Alderville First Nation, Curve Lake First Nation, Hiawatha First Nation, Mississaugas of Scugog Island First Nation, Beausoleil First Nation, Chippewas of Georgina Island First Nation and the Chippewas of Rama First Nation (Williams Treaties First Nations, 2017).

The purpose of the Johnson-Butler Purchases of 1787/1788 was to acquire, from the Mississaugas, the Carrying Place Trail and lands along the north shore of Lake Ontario from the Trent River to Etobicoke Creek.

As part of the Johnson-Butler Purchases, the British Crown signed a treaty, sometimes referred to as the “Gunshot Treaty” with the Mississaugas in 1787 covering the north shore of Lake Ontario, beginning at the eastern boundary of the Toronto Purchase (Treaty 13, 1805), and continuing east to the Bay of Quinte, where it meets the Crawford Purchase (1783). It was referred to as the “Gunshot Treaty” because it purportedly covered the land as far back from the lake as a person could hear a gunshot. Compensation for the land apparently included “approximately £2,000 and goods such as muskets, ammunition, tobacco, laced hats and enough red cloth for 12 coats” (Surtees, 1984, pp. 37–45). First discussions about acquiring this land are said to have come about while the land ceded in the Toronto Purchase of 1787 was being surveyed and paid for (Surtees, 1984, pp. 37–45). During this meeting with the Mississaugas, Sir John Johnson and Colonel John Butler proposed the purchase of lands east of the Toronto Purchase (Fullerton & Mississaugas of the Credit First Nation, 2015). However, descriptions of the treaty differ between the British and Mississaugas, including the depth of the boundaries: “Rice Lake and Lake Simcoe, located about 13 miles and 48 miles north of Lake Ontario, respectively, were not mentioned as landmarks in the First Nations’ description of the lands to be ceded. Additionally, original descriptions provided by the Chiefs of Rice Lake indicate a maximum depth of ten miles, versus an average of 15-16 miles in Colonel Butler’s description” (Fullerton & Mississaugas of the Credit First Nation, 2015).

However, records of the acquisition were not clear regarding the extent of lands agreed upon (Surtees, 1984, pp. 37–45). To clarify this, in October and November of 1923, the governments of Canada and Ontario, chaired by A.S. Williams, signed treaties (Williams Treaties 1923) with the Chippewa and Michi Saagiig for three large tracts of land in central Ontario and the northern shore of Lake Ontario, one of the last substantial portions of land in southern Ontario that had not yet been covered by Treaty (Crown-Indigenous Relations and Northern Affairs, 2013).

In 2018 the Government of Canada reached a settlement with the Williams Treaties First Nations, re-establishing Treaty harvesting rights in the Williams Treaties territories of each of the seven nations.

The Project Study Area is also within the active Rouge River Valley Tract Claim, filed in 2015 by MCFN (Fullerton & Mississaugas of the Credit First Nation, 2015). The Rouge River Valley Tract Claim pertains to the southern portion of the Rouge River Valley watershed, east of the eastern limit of Treaty 13, the Toronto Purchase, extending from the source of the Rouge River in the north to the shore of Lake Ontario in the South. The 1788 Gunshot Treaty included the land encompassed by the Rouge River



Valley Tract, however this treaty is considered invalid by the Mississaugas of the Credit First Nation due to an absence of sufficient supporting documentation (Fullerton & Mississaugas of the Credit First Nation, 2015).

The land at the mouth of the Rouge River was included in a list of un-surrendered lands submitted to the Crown by Mississaugas of the Credit Chiefs Joseph Sawyer and Peter Jones in 1847. In 1894 a delegation was sent to Ottawa to further pursue these claims, but matter of the land east of the Toronto Purchase remained unresolved (Fullerton & Mississaugas of the Credit First Nation, 2015).

Although the Rouge River Valley Tract was included in the Williams Treaty of 1923, the Mississaugas of the Credit were not signatories to the Williams Treaty and claim unextinguished title to their traditional territories within the southern part of the Rouge River Valley (Fullerton & Mississaugas of the Credit First Nation, 2015; Mississaugas of the Credit First Nation, 2018).

Additional oral history from CLFN and HWN is included in Appendix A.

## **7.2 Duffins Creek Watershed**

Duffins Creek drains an area of 287 square kilometres, including an east and a west branch of the main creek. Its headwaters are in the Oak Ridges Moraine and the watershed transects the South Slope, Peel Plain, and Iroquois Plain physiographic regions and meets its confluence with Lake Ontario at Squires Beach in Pickering, Ontario. The watershed falls within the municipalities of Durham, York, Ajax, Markham, Pickering, Uxbridge, and Whitchurch-Stouffville. The Duffins Creek Watershed is significant to Indigenous Peoples. It was used for transportation/travel and subsistence activities, and was a vital part of the Indigenous way of life. As this area of Ontario experienced significant settlement and population growth in the nineteenth century to the present, the watershed has degraded over time. At present, approximately 40% of the watershed has natural cover (Toronto and Region Conservation Authority, 2013). In the seventeenth and eighteenth centuries, the French referred to Duffins Creek as the Riviere au Saumon due to the large spawning grounds in the upper reaches of the watershed, however, by the early nineteenth century, settlers' milling activities had severely impacted the salmon population by restricting spawning (Toronto and Region Conservation Authority, 2013).

## **7.3 Euro-Canadian Settlement History**

The first Europeans to arrive in the area were transient merchants and traders from France and England, who followed existing transit routes established by Indigenous peoples and set up trading posts at strategic locations along the well-traveled river routes. All of these occupations occurred at sites that afforded both natural landfalls and convenient access, by means of the various waterways and overland trails, into the hinterlands. Early transportation routes followed existing Indigenous trails, both along the lakeshore and adjacent to various creeks and rivers (ASI 2006). Early European settlements occupied similar locations as Indigenous settlements as they were generally accessible by trail or water routes, and would have been in locations with good soil and suitable topography to ensure adequate drainage.



The following section describes the historical settings of the subject properties within Pickering Village, Township of Pickering.

### **7.3.1 Pickering Township**

Pickering Township was first surveyed in 1791 and designated as Township 8, changed shortly thereafter to Edinburgh. The first Euro-Canadian settler in Pickering is said to have been William Peak, who arrived in 1798 and was reputed to have been a trader with the local Indigenous peoples and interpreter who settled along the shore of Lake Ontario at the mouth of Duffins Creek (Armstrong, 1985; Farewell, 1907). The westerly portion of the township was settled in part by German settlers attracted to the area through the settlement proposal of William Berczy (Farewell, 1907). The remainder of the township was settled by Loyalists, disbanded soldiers, emigrants from the United Kingdom, and a large number of Quakers from both Ireland and the United States (Farewell, 1907). By 1851, Pickering was “one of the best settled townships in the County, and contains a number of fine farms, and has increased rapidly in both population and prosperity, within the last few years” (Smith, 1851). Maps produced later in the nineteenth century (Beers, 1877; Shier, 1860) show the township to be heavily settled and period census returns show that the township contained a wide variety of industries and small businesses as well as husbandmen engaged in mixed agriculture. The township population was 187 in 1809, 375 in 1820, 1,042 in 1828, 3,752 in 1842, and 5,285 in 1901.

The main settlements in Pickering Township were located along Duffins Creek where early mills and various industries utilized the available hydraulic power of this watershed. One of the earliest roads constructed across Pickering was the Kingston Road, built by Asa Danforth in 1796 along the south end of the township near the lake. This road was illustrated on several early township maps. The road network in Pickering developed slowly, and, by 1850, the de Rottenburg map showed just three major north-south arteries between the Kingston Road and Highway 7 (De Rottenburg, 1850).

Pickering Township experienced a decline in population in the rural areas in the early and mid-twentieth century. It generally remained unchanged as a nineteenth-century agricultural landscape north of the lakeshore area, even with some loss of earlier farmsteads. A gradual subdivision of some farmland occurred in the latter half of the twentieth century. The Regional Municipality of Durham, which saw the dissolution of the County of Ontario, was officially declared on January 1, 1974. At the same time the Township of Pickering became the Town of Pickering with the exception of a section in the southeast part and the Village of Pickering that joined the Town of Ajax. Urbanization that began in the southern part of Pickering in the post-Second World War period accelerated and moved northward in the latter part of the century. It continues in the twenty-first century.

### **7.3.2 Duffins Creek/Pickering Village**

The hamlet of Duffins Creek was first established by early Quaker families where the Danforth Road (Kingston Road/Highway 2) crossed Duffins Creek. The creek was renamed after an Irish trader, Duffin, who was active in the area around 1788-1790. The initial settlement was formed between 1801-1807, with a small group of houses located near the Kingston Road Bridge. The earliest settlers included Samuel Hunger and Noadiah Woodruff on Lot 16, Concession 2. The first sawmill and gristmill were built in 1809 on Lot 14, Concession 1 by Timothy Rogers, a Quaker from Connecticut. Settlement in the area progressed slowly. Early attempts at commercial activity failed, largely due to sparse population and



insufficient cash crops for trading. A post office was established in 1829, which was officially known as Pickering though the village continued to be called Duffins Creek. The population was estimated in 1846 at 130, with four churches, a grist mill, brewery, tannery, taverns, shoemakers, tailors, blacksmith and a wagon maker. The lack of a good road north prevented it from achieving the growth seen in Markham, Stouffville, Whitby, and Oshawa. (Town of Ajax n.d; Brown 2011).

The main industry in the village was milling, with at least three saw and gristmills operating throughout the 1850s. This industry benefitted from the completion of the Grand Trunk Railway between Oshawa and Toronto in 1856, and the community developed as an important grist-milling and local commercial centre. The village became known as Pickering Village starting in the 1860s. More mills were built through the 1870s and other industries and institutions included the large Pickering Woodworks, and Pickering College, a boarding school built by the Quakers in 1878. Pickering prospered throughout the 1880s and 1890s as a rural commercial and professional centre. Through the railway, it also functioned as a shipping centre for livestock, grain and locally-ground flour. Pickering became a police village in 1900, when its population was estimated at 1,000. Pickering became an incorporated village in 1953 and in 1974 it was amalgamated with the Town of Ajax (Town of Ajax, n.d.c).

The historical main street of Pickering Village is located along Old Kingston Road, which was the main thoroughfare due to the bridge crossing Duffins Creek. Present-day Kingston Road did not have a bridge crossing over the creek until 1970.

### **7.3.3 The Town of Ajax**

Prior to the Second World War, the area that would become Ajax was a mostly rural part of Pickering Township. The Town of Ajax was founded on the site of a former Defence Industries Ltd. (DIL) shell-filling plant. The DIL plant was established in 1940, on an expropriated plot of land more than 28,000 acres in size, from Lake Ontario in the south, to Highway 401 in the north, and bordered by Duffins Creek to the west. The site was chosen as it was removed from immediate proximity with any major settlements, it was well suited for water and sewage infrastructure, and it was situated adjacent to a range of transportation links (train lines, Highway 2, Highway 401, lake access, and nearby airport access). Ajax was named after the British cruiser H.M.S Ajax, which fought in the Battle of the River Plate and was responsible for the scuttling of the German battleship Graf Spee. (Barker, 1951; MacDonald, 1995; Mika & Mika, 1977).

Following the end of the war, Ajax was the home to a satellite campus of the University of Toronto. The campus stayed in use until the end of the 1948-1949 session. Following the withdrawal of the University of Toronto from the Ajax site, ownership passed to the Central Mortgage and Housing Corporation (CMHC). Ajax was to become Canada's first fully planned community, becoming in 1950 an Improvement District Municipality. By 1954, the growing Ajax community successfully petitioned the Ontario Municipal Board for town status. (Barker, 1951; MacDonald, 1995; Mika & Mika, 1977).

Large industrial firms were attracted to the new town and drove population growth. In 1973 the Town of Ajax became part of the Regional Municipality of Durham. On January 1, 1974, Ajax annexed part of the Township of Pickering and the Village of Pickering (Barker, 1951; MacDonald, 1995; Mika & Mika, 1977).



### **7.3.4 Kingston Road**

Kingston Road (Danforth Road, Highway 2, Dundas Street, King Street, Bond Street) began in 1798 when the government at the time hired Asa Danforth to construct a road from York (Toronto) to Kingston. This important transportation corridor was intended to provide an overland military route between Lake Ontario, Lake Saint Clair and Lake Huron. The road was intended to serve a dual purpose – to support settlement in Upper Canada and to deter expansionist American interests. Work on the road commenced in 1793, but the rocky and heavily treed landscape made progress slow and the route was still barely passable when Simcoe returned to England in 1796 (Byers & McBurney, 1982). Eventually, however, Dundas Street served the purpose of supporting settlement in southern Ontario once the colonial government purchased new lands adjacent to it.

In 1799, a portion of the route was completed, from Toronto to Port Hope. The original road was no more than a muddy horse path before it was macadamized in the mid-1800s. The final route between Windsor and the Quebec border was 837 km long. Highway 2 was part of the first 73.5 km stretch to be maintained by the provincial Department of Highways in 1917 and remained an important east-west route for the movement of goods and people between Toronto and Quebec until it was eclipsed by the construction of Highway 401. The route was no longer deemed a provincial highway in 1998 (Ontario Ministry of Transportation and Communications, 1984).

In Pickering Village, Kingston Road (now called Old Kingston Road) historically curved north to allow for a crossing of Duffins Creek as there was no crossing at the straight road allowance (now called Kingston Road). A bridge was built over the creek at present-day Kingston Road in 1970, removing through traffic from Old Kingston Road (Carter & Oberst, 2013a).

## **7.4 Review of Historical Mapping**

The 1860 Tremaine's Map of Ontario County and the 1877 Illustrated Historical Atlas of the County of Ontario (Figure 7 and 6) were reviewed to determine the historical setting of the four subject structures in the nineteenth century. It should be noted, however, that not all features of interest were mapped systematically in the Ontario series of historical atlases, given that they were financed by subscription, and subscribers were given preference regarding the level of detail provided on the maps. Moreover, not every feature of interest would have been within the scope of the atlases.

The 1860 Tremaine map (Shier, 1860) illustrates the extent of Duffins Creek within Pickering Township. Kingston Road, Church Street and Duffins Creek are depicted in their current alignment.

The 1877 illustrated atlas map of Duffins Creek (Beers, 1877) shows the village lots within Duffins Creek. Kingston Road is labelled as a "Concession Allowance Bet. 1 & 2" and the land along it has not yet been fully subdivided into village lots. Village lot 5 of Lot 14, Concession 1 contains what would become the four subject properties. The village lots are of irregular sizes, suggesting that they likely had existing buildings prior to the subdivision into village lots.

In addition to nineteenth-century mapping, historic topographic mapping and aerial images from the twentieth century were examined. These do not represent the full range of maps consulted for the



purpose of this study but were judged to cover the full range of land uses that occurred in the area during this period. This report presents maps and aerial photographs from 1917, 1930 and 1954 and 1973 (Figure 9 to Figure 12).

The 1917 topographic map (Department of Militia and Defence, 1917) shows the main intersection of Pickering Village (Church Street, Kingston Road and Old Kingston Road) with development along these streets. The map distinguishes between wood frame buildings (black squares) and brick or stone buildings (red squares). Wood frame buildings are depicted in the location of the subject properties. Kingston Road is shown terminating east of Duffins Creek and Old Kingston Road is shown crossing the creek. The 1930 topographic map (Department of National Defence 1930) depicts further development around the intersection, particularly on Church Street South. This map does not distinguish between wood frame, brick and stone buildings. Buildings are depicted in the location of the subject properties. Kingston Road is shown terminating east of Duffins Creek and Old Kingston Road is shown crossing the creek. The 1954 aerial photograph (Hunting Survey Corporation Limited 1954) depicts much the same conditions and shows the gradual expansion of streets near the main intersection. Duffin Street which is situated south of the subject properties is shown as connecting through to Kingston Road, however this is likely an error in overdrawing the streets based on the building dates of construction and their relationship with road alignments. The 1973 topographic map (Department of Energy, Mines and Resources 1973) shows the urban area had continued to expand, particularly to the southeast and shows Duffin Street in its present position.



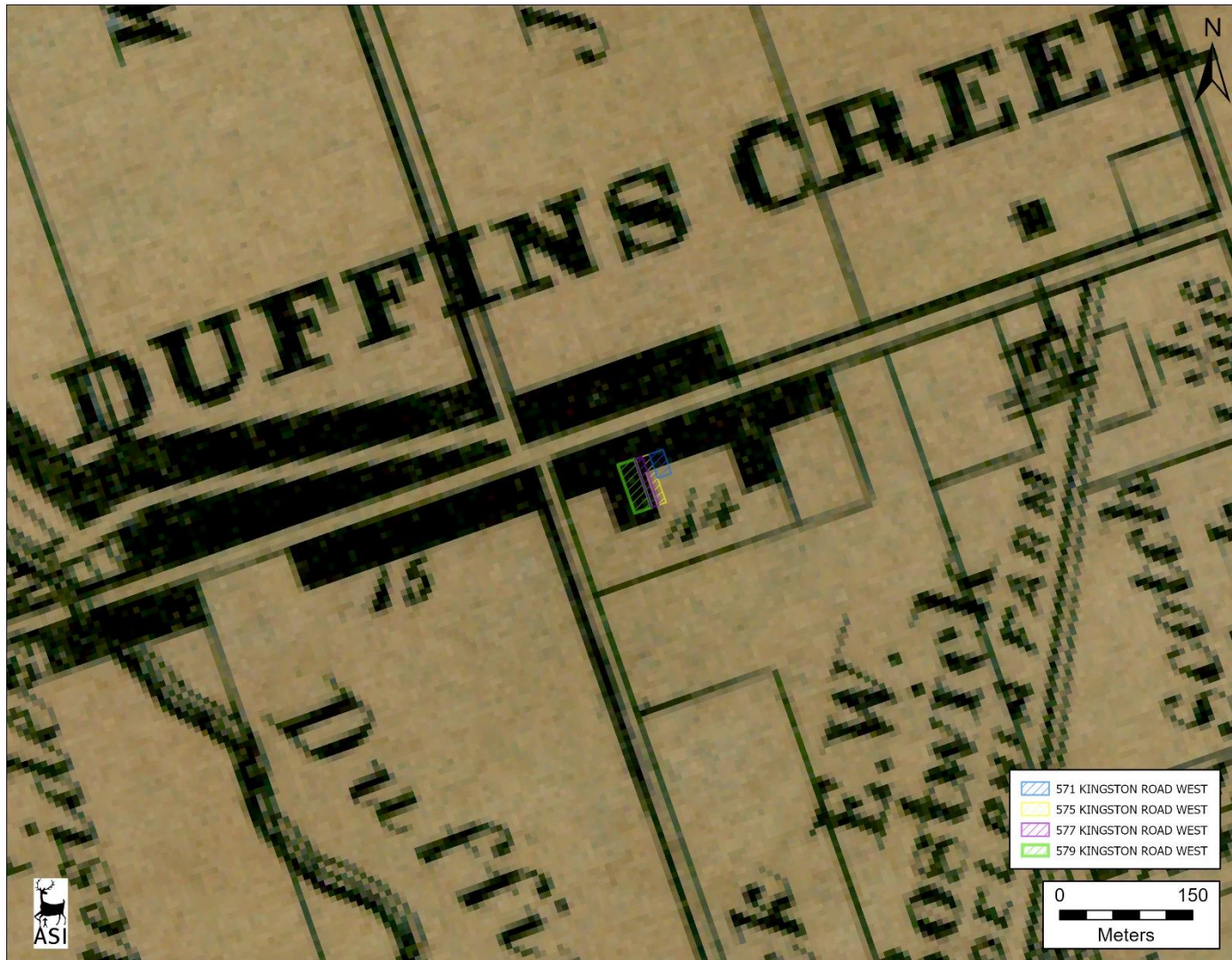


Figure 7: The location of the subject properties overlaid on the 1860 Tremaine's Map of the County of Ontario.

Source: Tremaine's Map of the County of Ontario (Shier, 1860)



Figure 8: The location of the subject properties overlaid on the 1877 map of Duffins Creek from the Illustrated Historical Atlas of Ontario County.

Source: Illustrated Historical Atlas of Ontario County (Beers, 1877)





Figure 9: The location of the subject properties overlaid on the 1917 topographic map.

Source: (Department of Militia and Defence, 1917)

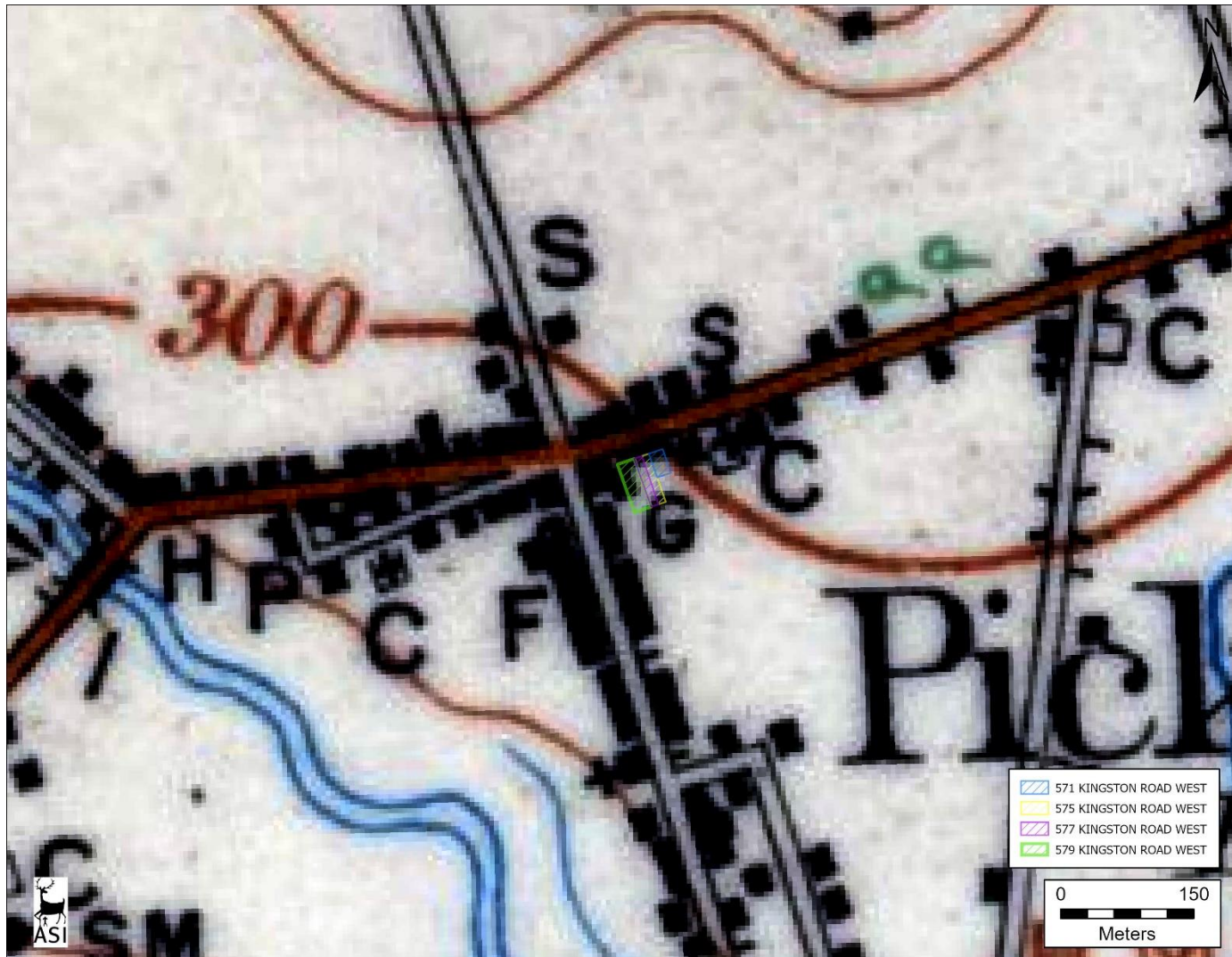


Figure 10: The subject properties overlaid on the 1930 topographic map.

Source: Department of National Defence 1930





Figure 11: The location of the subject properties overlaid on the 1954 aerial photograph.

Source: Hunting Survey Corporation Limited 1954



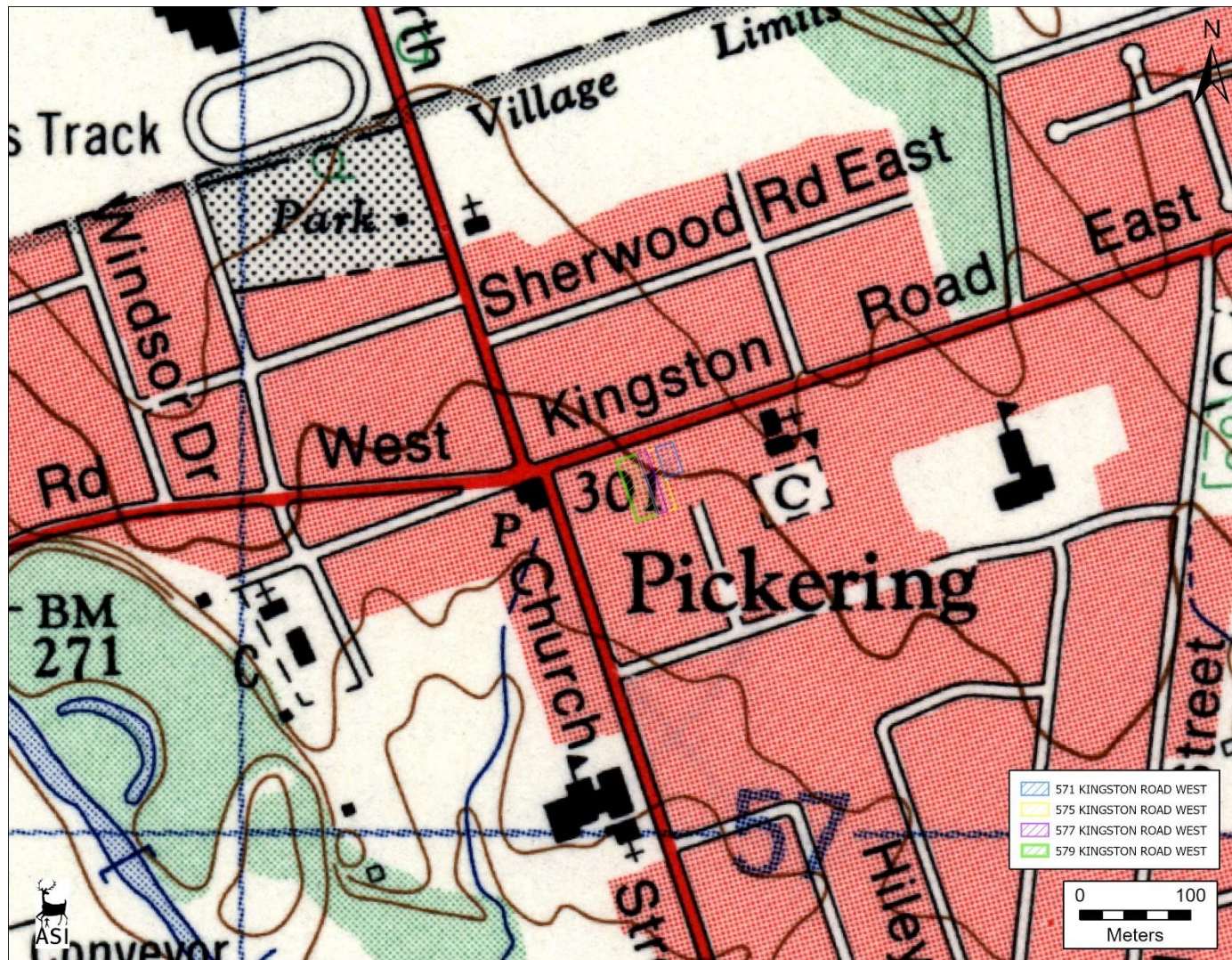


Figure 12: The location of the subject properties overlaid on the 1973 topographic map.

Source: Department of Energy, Mines and Resources 1973

## **7.5 Land Use History**

The 1833 Crown patent for Lot 14, Concession 1, Pickering Township was granted to John Smith. The subsequent division of Lot 14 and full chains of ownership for the subject properties are not clear at this time. The scanned parcel register available at Onland.ca is partially illegible and some pages and books appeared to be missing, which has left gaps in the land use history. It appears that the Municipal Plan of Duffins Creek (Plan 11) was filed August 28th, 1869. County directories, census records, historical mapping and local history publications were cross-referenced in an attempt to establish the chain of ownership.

The subject properties were all located within Village Lot 5. The earliest available record from the parcel register shows that in 1874 Jennings (first name unknown) sold the entire lot to George O'Leary. It then appears that the lot becomes subdivided as parts of it are sold, but the nature of how and when each subject property was created is not entirely clear.

George O'Leary emigrated from Ireland in 1831. He settled on the north half of Lot 6, Concession 4. With his wife, Mary O'Connor, they had six children. In 1874 O'Leary sold his farm and retired to Pickering Village where he lived until his death in 1881 at around age 85 (Wood, 1911). The 1861 Census notes that George was a 62-year-old Irish Roman Catholic farmer with six children (Library and Archives Canada, 1861). The 1881 Census notes that George was 86 years old and lived with his daughters Ellen (33), Maggi [Margaret] (31) and Julia (29) (Library and Archives Canada, 1881).

The O'Leary family is noted on the Heritage Inventory Sheet for 571 Kingston Road West as being prominent among early Pickering settlers, however no further information has been found regarding the family's significance in the community (Town of Ajax, n.d.a).

### **7.5.1 571 Kingston Road West**

The Heritage Inventory Sheet for this property notes that the building at 571 Kingston Road West was built in 1875 for George O'Leary after he purchased the land in 1874. Upon his death in 1881 it passed to his daughters Ellen, Margaret and Julia (Town of Ajax, n.d.a). The parcel register shows that in 1905 Margaret and Julia O'Leary sold part of Lot 5 to Richard H. Bunting. Census records show that a Richard A. Bunting (1864-1934) lived in Pickering and is listed as a General Merchant in the 1901 Census and a postmaster in the 1921 Census (Libraries and Archives Canada, 1921; Library and Archives Canada, 1901). No information on property ownership for subsequent years was located in the parcel register.

### **7.5.2 575 and 577 Kingston Road West**

The building was constructed in 1877 (Town of Ajax n.d.), but it is not known by whom. The parcel register shows that following the death of George O'Leary in 1881, his property passed to his daughters. In 1890, Margaret and Julia O'Leary sold part of Lot 5 that would become the subject property to William Tetes Hartrick (1833-1912). Born in Pickering Township, Hartrick married Mary Anne Varty in 1858 and following her death he married Margaret Gordon in 1879. The 1891 Census notes that Hartrick was a 55-year-old farmer with one son (Library and Archives Canada, 1891).

In 1904 Hartrick sold the property to Joshua Nicholson Richardson (1835 – 1921). The 1901 Census notes that he was a 65-year-old Quaker farmer living in Pickering (Library and Archives Canada, 1901).





Following Richardson's death in 1921, his wife Sarah granted 1/4 acre to Robert Somerville for \$4000. The same year, Somerville and his wife Hannah granted 1/8 acre to Mary Ellen, Sarah and Hannah Jane Law for \$2600. It would appear that Somerville had purchased the whole semi-detached house and then sold one half of it. The 1901 Census lists a Robert Somerville who is a 48-year-old Presbyterian farmer married to Eliza Somerville (Library and Archives Canada, 1901). It is not clear if this is the same person as in the parcel register. The 1921 Census shows that Sarah (65) and Mary Law (60) were both single and owned a brick veneer house with six rooms (Libraries and Archives Canada, 1921). The Pickering Village Walking Tour notes that 575 Kingston Road West was "once home to the Misses Law, both quite prominent in the village and surrounding area for their musical talents as well as being outstanding teachers of piano and vocal lessons" (Town of Ajax Local Architectural Conservation Advisory Committee, n.d.). In 1943 Hannah Jane Law sold 1/8 acre to Rita Anne Law for \$1500.

Ownership information for years 1943-1968 were not discernible in the parcel register. In 1968, William G. Lawson sold 575 Kingston Road West to Verna Tweedie. In 1985, following Tweedie's death, the property was granted to John Francis Lounsbury in Trust. In 1996 the property was transferred from Lounsbury to David Andrew Currie, Trustee.

### **7.5.3 579 Kingston Road West**

While it appears that the subject property at one time formed part of George O'Leary's property, no information was found in the parcel register for the years 1874-1920. In 1920, Edward J. Walsh and his wife sold the property to a David Annan. The 1921 Census of Canada lists a David Annan and a David Annan, Sr. living in Pickering Village. David Annan was a 54 year-old gentleman, married to Edith Annan (Libraries and Archives Canada, 1921). It is likely that his father was David Annan, Sr. a retired 77-year old married to Isabella Annan (Libraries and Archives Canada, 1921). Both David Annans are noted as living in a 6-room detached frame house. It is not clear if this is the subject residence, however based on the subject residence's 1921 construction date, it appears that it was built for the Annans. In 1956 the executors of John Annan's (relation to David Annan Jr. or Sr. unknown) estate sold the property to Florence Christian Calvert. In 1983, Calvert sold the property to J.S. Davidson Insurance. In 1985, J.S. Davidson Insurance Brokers Ltd. sold the property to Joy Sandra Davidson, the current owner.

## **8.0 DISCUSSION OF DESIGN AND PHYSICAL VALUE**

### **8.1 Physical Characteristics**

The descriptions and discussion of design and physical value of the buildings is limited to the exterior features. The buildings were not entered during field review due to ASI's safety protocols related to the COVID-19 pandemic quarantine restrictions in place in the Province of Ontario at the time which did not allow for interior access to occupied buildings. Interior photos of the buildings have been requested from the property owners but were not yet received at the time of report submission<sup>12</sup>.

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<sup>12</sup> With the approval of Metrolinx, on September 10, 2020 letters addressed to the property owners were hand-delivered to the subject properties with a request for interior photos and a guide to taking interior photos. No responses or photographs were received from the property owners at the time of report submission.



Photographic plates (Plate 1 to Plate 23) are provided in the sections below, following the description of each property. Unless otherwise stated, all photographs were taken by ASI in September 2020.

No historical photographs of the properties have been located at this time.

#### **8.1.1 571 Kingston Road West**

The property at 571 Kingston Road West is located on the south side of Kingston Road West approximately 115 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The property contains a single detached residential building which has been converted for commercial use. The building was constructed in 1875 (Town of Ajax n.d.).

The building at 571 Kingston Road West is a one-and-a-half storey residential building with a rectangular footprint and a rear tail. The building is designed in the Gothic Revival Cottage architectural style and retains its stone foundation, fenestration, end gable roof with front facing gable, decorative vergeboard and Gothic arch window with original wooden divided sash. The building is clad in vinyl siding and, other than the gable window, the windows have been replaced with aluminum sash. The wood frames and the sills appear to have been wrapped in aluminum cladding. The roof is asphalt shingle. The property has a large walnut tree in the rear yard.

The north (front) elevation of the building fronts onto Kingston Road West and includes a front porch with a bell-cast, hipped roof that is likely a later addition. The primary entrance has a decorative architrave surrounding the entrance door. There is an external brick chimney on the west elevation (Plate 3). The rear tail has a shed roof and is situated to the east side of the south (rear) elevation of the building.



Plate 1: North elevation of 571 Kingston Road West.



Plate 2: Detail of main entrance.





Plate 3: West elevation of 571 Kingston Road West.



Plate 4: Foundation and first storey of east elevation.



Plate 5: East elevation and walnut tree in rear yard of 571 Kingston Road West.

### **8.1.2 575 and 577 Kingston Road West**

The properties at 575 and 577 Kingston Road West are located on the south side of Kingston Road West, approximately 95 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The properties contain a semi-detached residential building which has been converted for commercial uses. The building was constructed in 1877 (Town of Ajax n.d.).

The building at 575 and 577 Kingston Road West is a two-and-a-half-storey semi-detached residential building with a rectangular footprint and has a reflected plan. The building is wood frame construction on a stone foundation with red brick cladding and a hipped roof of asphalt shingle. There are two full-height projecting bays with front facing gables. An inset porch protects the main entrances. The design and detailing of the building are typical of the Victorian period and incorporate elements of Italianate and Gothic Revival architectural styles.

The building features paired windows with segmental arches and brick hoodmoulds. The first storey windows on the north (front) elevation include wooden frame with carved leaf motifs. The third storey has round arch windows in the upper portion of the gable on the north elevation as well as small dormers at the ridge line at the east and west elevations. The windowsills have been metal clad except for the third storey gable windows which have painted masonry sills, though it is not known if these are stone or concrete. The porch has a simple sloped roof that is detailed with brackets. The primary entrances retain their original wooden frames, transoms and wooden two panel doors with divided glazing in the upper half. There is an internal chimney on the west side of the building however there is no corresponding chimney on the east. The porch shingles have a decorative scalloped shape.





Plate 6: North elevation of 575 (left) and 577 (right) Kingston Road West.



Plate 7: Detail of main entrances and porch.





Plate 8: North and west elevations of 575 and 577 Kingston Road West.



Plate 9: North and east elevations of 575 and 577 Kingston Road West.

### **8.1.3 579 Kingston Road West**

The property at 579 Kingston Road West is located on the south side of Kingston Road West, approximately 70 metres east of Church Street in the Town of Ajax (historically Lot 14, Concession 1 in Pickering Township, Ontario County). The property contains a single detached residential building constructed in 1921 (Town of Ajax, n.d.b) which has been converted for commercial use.

The building at 579 Kingston Road West is a two-storey wood frame residential building with a rectangular footprint. The building is designed in the Edwardian Classical architectural style and retains its red brick cladding, front gable roof with flared eaves, prominent porch with brick piers and squared wooden half-columns and large window openings. The brick walls on the porch have a decorative lattice pattern. The foundation has been parged with cement.

The building is constructed with a side hall plan with the entrance hall on the east side of the building. A small window is to the east of the primary entrance door and a large window opening which is divided into three parts is to the west of the entrance door. The second storey has two windows on the north elevation. A secondary entrance is located on the east side of the building, level with the ground. The windows and doors all have segmentally arched brick openings. The window sash appears to be double hung with a single pane on the bottom and divided panes above. The flared eaves returns have been boxed in with aluminum cladding. The attic storey has a square window opening with a divided sash in the gable. The gable is clad with asphalt shingle and flares above the second storey.



Plate 10: North elevation of 579 Kingston Road West.





Plate 11: Detail of porch at 579 Kingston Road West.



Plate 12: West elevation of 579 Kingston Road West.



Plate 13: East elevation of 579 Kingston Road West.

## 8.2 Comparative Analysis

Properties designated under Part IV and Part V of the *Ontario Heritage Act* were reviewed to identify comparable buildings for the purposes of establishing a comparative context for evaluating the subject properties.

Photos below are by ASI, 2020, unless otherwise stated.

### 8.2.1 571 Kingston Road West

The Town of Ajax has a collection of Gothic Revival Cottages within Pickering Village which are listed or designated. Three designated examples are presented below.

#### *22 Church Street North – Designated Part IV and V*

Built c. 1880, the one-and-a-half-storey Gothic Revival Cottage retains its original form, clapboard and vergeboard at the front gable. Most of the windows have been replaced but their original placement has been retained. The gable window may be original, and has a low pediment instead of the typical pointed Gothic arch window. The house has a porch with shed roof and decorative bracketing and an octagonal bay at one end. End brick chimneys have been retained. In comparison, both the house at 22 Church Street North and the subject property both express the form and character of the Gothic Revival Cottage style. The house at 22 Church Street North has a somewhat higher level of overall architectural detail



than the subject property, but the subject property features a prominent, original Gothic arch window which is a hallmark of this style.



Plate 14: The house at 22 Church Street North (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018a)

#### *566 Kingston Road West – Designated Part IV*

Built in 1883, this one-and-a-half-storey Gothic Revival Cottage is located across the street from the subject property. It has gone through many alterations, however it has retained its original clapboard and beaded corner boards. The windows have been replaced, including the original gable window which appears to have been widened. An enclosed porch has been added to the front elevation. Despite the addition of the porch, the original Gothic Revival Cottage form is still legible. In comparison, the subject property retains more elements that clearly express the Gothic Revival Cottage style.



Plate 15: The house at 566 Kingston Road West (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018a)

*10 Elizabeth Street – Designated Part V*

Built in 1890, this one-and-a-half-storey Gothic Revival Cottage has been altered but it retains its original form and fenestration placement. Its original cladding has been replaced with contemporary siding and the windows have been replaced. The shape of the Gothic arch window frame in the gable has been retained, however the replacement window within the frame is rectangular. In comparison, the subject property retains more elements that clearly express the Gothic Revival Cottage style.



Plate 16: The house at 10 Elizabeth Street (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2013)

### *Summary*

The three comparative buildings represent the range of architectural detailing found in the designated Gothic Revival Cottages within Ajax. While details and integrity vary across these examples, the distinctive form of the Gothic Revival Cottage and the original fenestration placement are legible in all of them. The subject property retains its original form, including the rear tail. Most windows have been replaced, however their original placement has been maintained, creating the symmetrical front façade typical of the Gothic Revival Cottage style. The pointed Gothic gable window and vergeboard on the gable appear to be original. The stone foundation has remained visible. While the house has been re-clad in vinyl siding, the siding's narrow dimensions approximate the historical clapboard which it likely replaced. The subject property displays a sufficient degree of the characteristics and details of the Gothic Revival Cottage style to be considered a representative example of the style within the local context.

### **8.2.2 575 and 577 Kingston Road West**

While the property at 575 and 577 Kingston Road West is not a robust example of the Italianate style, it does incorporate some Italianate design elements. It is also a semi-detached house from the Victorian period, a type noted as rare within Pickering Village (Town of Ajax & Town of Ajax Heritage Advisory



Committee, 2013). The comparative analysis presents one building in the Italianate style and two Victorian-era semi-detached buildings, all of which are designated.

#### *497 Kingston Road West – Designated Part IV*

Built in 1870, this two-and-a-half-storey red brick house is located down the street from the subject property. It is a good example of the Italianate style. Its L-shaped footprint gives the appearance of several projecting bays, accentuated by the irregular roofline with a front-facing gable at the front. Details typical of the Italianate style include the exuberant polychromatic brick arches above the windows, the tall, narrow round-headed windows (some paired), deep projecting eaves with ornate brackets and tall brick chimneys. The double front doors (not original) have a sunburst transom above the double front doors. In comparison, the subject property has a more modest character and the architectural detailing is not as rich. However, elements such as the projecting front bays with gable ends decorated with vergeboard, and the tall, narrow round-headed paired windows with modest brick arches and hoodmoulds do provide a degree of Italianate character.



Plate 17: The house at 497 Kingston Road West (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018a)

#### *19-21 Linton Avenue – Designated Part V*

Built in 1875, this is a one-and-a-half-storey semi-detached house with a reflected plan. It is a vernacular Victorian design in polychromatic brick. The front façade has two pointed gables with arched windows beneath them. The original porches have been removed. The house retains its original large two-over-two wooden sash windows, which are arched on the second storey. Buff brick details include quoins,

lintels, arches and banding between the two storeys. The foundation is fieldstone. In comparison, the subject building shares the semi-detached and reflected plan. While the two buildings have differing stylistic details, the overall level of architectural detail is comparable.



Plate 18: The house at 19-21 Linton Avenue (Google Streetview August 2018)

#### *57 Cameron Street – Designated Part V*

Built in 1888, this one-and-a-half-storey single dwelling has been altered from its original form as a semi-detached house with a reflected plan. Most of the original characteristics have been altered and no historical fabric is visible, however the general form of the building with two pointed gables provides an indication of its nineteenth-century origins and that it may have looked similar to the house at 19-21 Linton Avenue. Windows have been replaced and enlarged but are likely in their original locations. A single entry has replaced the two entrances of the original reflected plan. In comparison, the subject building shares the semi-detached form and reflected plan. The subject building also retains a much greater degree of historical fabric and architectural details.





Plate 19: The house at 57 Cameron Street (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2013)

### *Summary*

The subject building is a Victorian semi-detached house with some Italianate details. In comparison to the Italianate house at 497 Kingston Road, the subject building does not display sufficient characteristics to be considered representative of the Italianate style. In comparison to the semi-detached houses at 19-21 Linton Avenue and 57 Cameron Street, the subject property is a good example of a Victorian semi-detached house, a type of building considered rare within Pickering Village.

### **8.2.3 579 Kingston Road West**

A review of the main streets within Pickering Village and the listed and designated properties revealed relatively few examples of houses in the Edwardian Classical style, with a total of six being identified (including the subject property). Four houses are presented for comparative analysis below.

#### *625 Kingston Road West - Listed*

Built in 1913, this two-and-a-half-storey Edwardian Classical house is largely unaltered. Elements typical of the Edwardian Classical style include the smooth red brick exterior, the pronounced gable end roof with returned eaves and the porch supported by plain columns. The front entrance has a transom with divided lights. The gable end has a central diamond window. The windows may be original. The east elevation has an oval window. It has a decorative coursed stone foundation and a brick interior chimney.

In comparison, the subject building displays a similar degree of elements typical of the Edwardian Classical style.

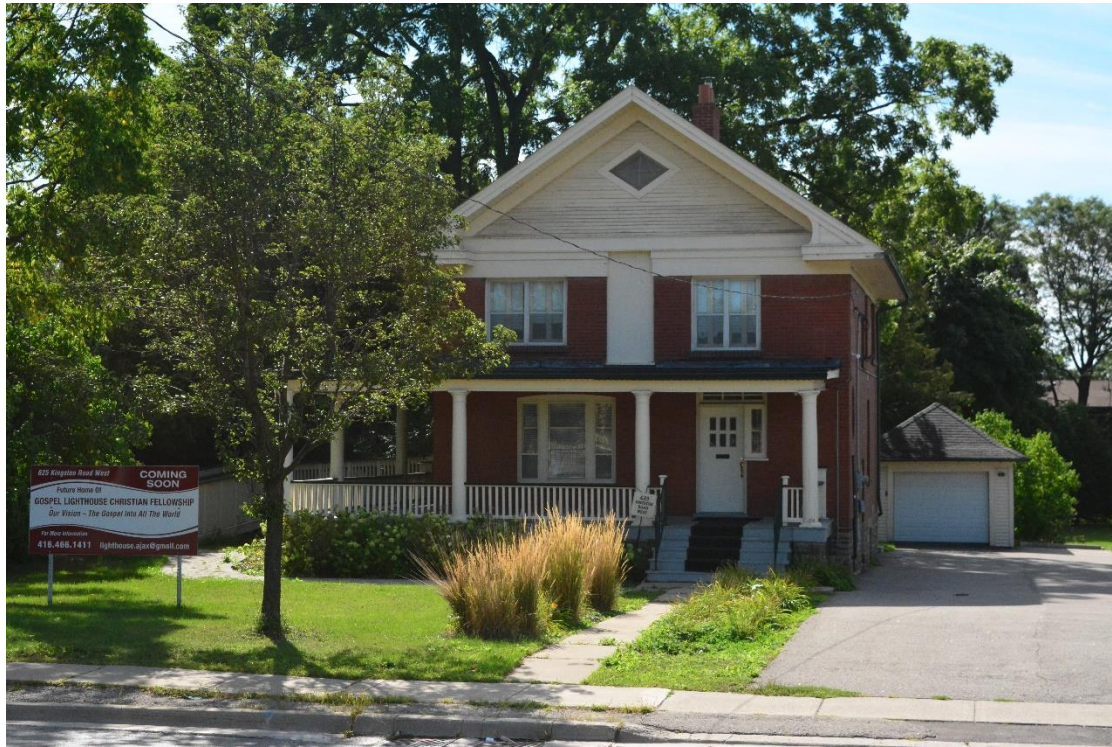


Plate 20: The house at 625 Kingston Road West

#### *42 Church Street North – Designated Part V*

Built in 1913, this two-and-a-half storey Edwardian Classical house has a red brick exterior and an end gable roof with returned eaves which have been covered with siding. The porch, supported by plain square posts, may be a replacement (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2013). Windows have been replaced and the windows on the second storey have different sill heights, detracting from the balanced façade typical of the Edwardian Classical style. The south elevation has an oval window, a side entrance with a small portico and a projecting gabled bay. There is a brick exterior chimney. In comparison, the subject building is a better example of the Edwardian Classical style.



Plate 21: The house at 42 Church Street North (Town of Ajax and Town of Ajax Heritage Advisory Committee 2013)

### *9 and 91 Christena Crescent - Listed*

Built in 1929, the house at 9 Christena Crescent is a two-and-a-half storey Edwardian Classical house is clad in variegated brick. It is largely unaltered and has a hipped roof with wide eaves and a central dormer window. The prominent porch echoes the shape of the roof and is supported by brick piers. The front wall of the porch has a decorative lattice pattern. Windows appears to be original six-over-one sash windows and have large, flat lintels.

The house at 91 Christena Crescent is very similar in form, materials and detailing, though the original windows have been replaced.

In comparison to the houses at 9 and 91 Christena Crescent, the subject building displays a similar degree of elements typical of the Edwardian Classical style.





Plate 22: The house at 9 Christena Crescent (Google Streetview 2015).



Plate 23: The house at 91 Christena Crescent (Google Streetview 2018).

### *Summary*

In comparison to the four Edwardian Classical houses above, the subject building displays a sufficient degree of architectural elements and details to be considered representative of the Edwardian Classical style within the local context. The Edwardian Classical style of the house may be rare within Pickering Village.

## **9.0 DISCUSSION OF CONTEXTUAL VALUE**

### **9.1 Description of Setting and Character of the Property and Surroundings**

The subject properties 571, 575, 577 and 579 Kingston Road West in the Town of Ajax are located along the south side of Kingston Road West, east of Church Street.

Kingston Road West runs in a general east-west direction and has five lanes total of bi-directional traffic in the area of the subject properties. It is a busy street which carries heavy vehicular traffic. Church Street carries three lanes of vehicular traffic and a bike lane in a north-south direction. It jogs to the west and widens where it meets the north side of Kingston Road. The streetscape includes concrete curbs, sidewalks and concrete hydro poles. Buildings are set very close to the sidewalk.

The Pickering Village Heritage Conservation District (HCD) is located to the northwest of the subject properties. The district includes all of Old Kingston Road and parts of Elizabeth and Church Streets. A description of the district is excerpted below from The Pickering Village Heritage Conservation District Plan (Carter & Oberst, 2013b):

The District is representative of the development and growth of an Ontario milling and commercial village, with associated residential areas, dating from the mid-19<sup>th</sup> through the early 20<sup>th</sup> centuries with largely compatible modern development.

Particular elements worthy of preservation are:

- A wide range of historic architectural styles within a compact area.
- A high percentage of heritage buildings that remain largely intact.
- A village-like character enhanced by the curve of Old Kingston Road, and the presence of mature trees in both commercial and residential areas.
- The association of locally significant persons with many of the properties.

The four properties are across the street from several properties with buildings which date to the nineteenth century. Like the south side of Kingston Road, these properties are one-and-a-half to two storeys in height with modest scale. They are a mix of architectural styles and residential types however clearly represent a Euro-Canadian nineteenth-century streetscape. The property in the immediate area form part of a larger streetscape of nineteenth- and early-twentieth century buildings between Mill Street and Church Street, many of which are designated under Part IV of the *Ontario Heritage Act* or listed on the Town of Ajax's *Inventory of Non-Designated Heritage Properties*. Eight of the thirty designated properties in the Town of Ajax are located within this block and 23 properties are listed on the *Inventory*.



### **9.1.1 571 Kingston Road West**

The subject property features a single detached one-and-a-half-storey residential building at the northern edge of the property. The setback is very small, with the building raised from, but nearly meeting, the sidewalk. The east side of the building neighbours 567 Kingston Road West, a single-detached residential building known as the R.A. Bunting House, constructed in 1905. This property is also listed on the Town of Ajax's *Inventory of Non-Designated Heritage Properties* (Town of Ajax & Town of Ajax Heritage Advisory Committee, 2018b). The properties are divided by a wooden privacy fence. The west side of the building shares a paved entrance driveway and rear yard parking lot with 575 and 577 Kingston Road West.

### **9.1.2 575 and 577 Kingston Road West**

The subject properties feature a semi-detached, two-and-a-half-storey building at the northern side of the property. There is a shallow setback with a narrow grassed front lawn. The east side of the building shares a paved entrance driveway and rear yard parking lot with 571 Kingston Road West. The west side of the building has a paved entrance driveway and is separated from the neighbouring property at 579 Kingston Road West by a wooden privacy fence.

### **9.1.3 579 Kingston Road West**

The subject property features a single detached, two-storey building at the northern side of the property. There is a shallow setback with a narrow grassed front lawn that wraps around to the west side of the building. A short, wrought iron fence separates the lawn from the public sidewalk. A concrete walkway connects the public sidewalk to the main entrance. The east side of the property has a paved entrance drive and is separated from the neighbouring property at 577 Kingston Road West by a wooden privacy fence. To the west of the property is a large parcel which contains a large, paved parking lot and a building set at the southeast corner of the intersection of Kingston Road West and Church Street.

## **9.2 Community Landmark**

### **9.2.1 571 Kingston Road West**

The building at 571 Kingston Road West faces onto Kingston Road West, a busy regional thoroughfare. The subject property is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure or a landmark commercial structure in the local context.

### **9.2.2 575 and 577 Kingston Road West**

The buildings at 575 and 577 Kingston Road West faces onto Kingston Road West, a busy regional thoroughfare. The subject property is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure or a landmark commercial structure in the local context.



### 9.2.3 579 Kingston Road West

The building at 579 Kingston Road West faces onto Kingston Road West, a busy regional thoroughfare. The subject property is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure or a landmark commercial structure in the local context.

## 10.0 EVALUATION

### 10.1 571 Kingston Road West

The evaluation of 571 Kingston Road West using the criteria set out in *Ontario Regulations 9/06* and *10/06* is presented in the following sections (Table 2 and Table 3). The following evaluations have been prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario.

#### 10.1.1 Ontario Regulation 9/06

Table 2: Evaluation of 571 Kingston Road West - *Ontario Regulation 9/06*

1. The property has design value or physical value because it:		
Ontario Heritage Act Criteria	Response (Y/N)	Analysis
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	Y	The subject property meets this criterion. The house on the property is a representative example of the Gothic Revival Cottage style. Features of the house that are representative of the style include the one-and-a-half storey form with a symmetrical façade with a central door flanked by a window on either side, the gable end roof with a central gable decorated with vergeboard, and the Gothic arch window in the gable.
ii. displays a high degree of craftsmanship or artistic merit; or	N	The subject property does not meet this criterion. The building does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	N	The subject property does not meet this criterion. Based on the available data, it is not known to demonstrate a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it:		
Ontario Heritage Act Criteria	Response (Y/N)	Analysis
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	N	The subject property does not meet this criterion. While the property is associated with the O'Leary family, which is noted as a prominent early settler family in the village's history, the O'Learys are not known to be significant people within the community. Subsequent owners are also not known to be significant to a community.





ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or	N	The subject property does not meet this criterion. The subject property is one of many residential buildings in the Village of Pickering.  It is not considered to be a significant landmark or structure in the community, and as such, does not have the potential to yield information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	The subject property does not meet this criterion. The designer and builder of the property are unknown.
<b>3. The property has contextual value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. is important in defining, maintaining or supporting the character of an area;	Y	The subject property meets this criterion. The subject property is important in maintaining and supporting the nineteenth- and early-twentieth century Euro-Canadian residential streetscape of Kingston Road between Mill Street and Church Street. This streetscape developed in the nineteenth century as part of Pickering Village, and Kingston Road was the main east-west street in the village. The subject property and house contribute to the streetscape of houses primarily constructed in the nineteenth century along Kingston Road between Mill Street and Church Street.
ii. is physically, functionally, visually or historically linked to its surroundings; or	Y	The subject property meets this criterion. Located on the south side of Kingston Road, the property is physically, visually and historically linked to the Kingston Road streetscape which was the main east-west street in Pickering Village.
iii. is a landmark.	N	The subject property does not meet this criterion. The subject property is one of many residential buildings along Kingston Road and is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure.

### 10.1.2 Ontario Regulation 10/06

Table 3: Evaluation of 571 Kingston Road West - Ontario Regulation 10/06

<b>1. The property has design value or physical value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. The property represents or demonstrates a theme or pattern in Ontario's history;	N	The subject property is associated with residential development within the Town of Ajax. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion.



ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history;	N	This property is not considered to retain potential to yield information that contributes to the understanding of Ontario's history. The subject property does not meet this criterion.
iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage;	N	The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion.
iv. The property is of aesthetic, visual or contextual importance to the province;	N	The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion.
v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period;	N	The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion.
vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use;	N	The subject property does not retain a strong or special association with the entire province or with a specific community throughout the province. The subject property does not meet this criterion.
vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and,	N	The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion.
viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property.	N	The property is located within the Town of Ajax (an incorporated municipality), therefore, Criterion 8 does not apply.

### 10.1.3 Recommended Outcome of Evaluation

The above evaluation determined that the property at 571 Kingston Road West, in the Town of Ajax, meets the criteria set out in *Ontario Regulation 9/06* of the *Ontario Heritage Act*. In particular, it is determined that the property is representative of the Gothic Revival Cottage style; that the property is important in maintaining and supporting the nineteenth-century Euro-Canadian residential streetscape of Kingston Road between Mill Street and Church Street; and that the subject property is physically, visually and historically linked to the Kingston Road streetscape. An evaluation using the criteria outlined in *Ontario Regulation 10/06* determined that the subject property does not retain CHVI at the provincial level.



#### **10.1.4 Statement of Cultural Heritage Value**

##### *Description of Property:*

The property at 571 Kingston Road West contains a one-and-a-half storey Gothic Revival Cottage style house built in 1875, with a rear yard containing a mature walnut tree. The property is located on the south side of Kingston Road in the historical Village of Pickering, now part of the Town of Ajax, and within a nineteenth- and early-twentieth-century Euro-Canadian residential streetscape located between Mill and Church Streets. Historically, the property is located on Lot 5 in the Village of Pickering, and Lot 14, Concession 1 in the Township of Pickering.

##### *Statement of Cultural Heritage Value or Interest:*

The property at 571 Kingston Road West has design/physical and contextual value. The house is a representative example of the Gothic Revival Cottage style. Features of the house that are representative of the style include the one-and-a-half storey form with a symmetrical façade with a central door flanked by a window on either side, the gable end roof with a central gable decorated with bargeboard, and the pointed Gothic arch window in the gable.

The property is located on Kingston Road West, between Mill and Church Streets, a nineteenth- and early-twentieth-century Euro-Canadian residential streetscape. This part of Kingston Road formed part of Pickering Village, and was the primary east-west street in the village. Though Kingston Road has been widened in the twentieth century to carry five lanes of traffic, the high concentration of houses built primarily in the nineteenth century maintains the residential village character of the area. The subject property is important in maintaining and supporting this nineteenth- and early-twentieth century streetscape. It is also physically, visually and historically linked to this streetscape on Kingston Road.

##### *Description of Heritage Attributes:*

Key attributes that express the design or physical value of the subject property include:

- The one-and-a-half-storey frame house, including:
  - Symmetrical façade with a central door flanked by a window on either side
  - Gable end roof with central pointed gable decorated with vergeboard
  - Decorative architrave around the front door
  - Window shape and placement
  - Original Gothic arch window with wooden divided sash
  - Stone foundation
  - One-storey rear wing
  - External brick chimney on west elevation

Key attributes that express the contextual value of the subject property include:

- The location of the property and house on the south side of Kingston Road West, as part of the collection of late-nineteenth- and early-twentieth century residential properties on Kingston Road between Mill and Church Streets.





- The front yard as a setting for the house.
- The current setback of the house from Kingston Road West.
- The orientation of the front (north) elevation facing Kingston Road West.



Figure 13: Location of heritage attributes at 571 Kingston Road West.

## 10.2 575 and 577 Kingston Road West

The evaluation of 575 and 577 Kingston Road West using the criteria set out in *Ontario Regulations 9/06* and *10/06* is presented in the following sections (Table 4 and Table 5). The following evaluations have been prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario.

### 10.2.1 Ontario Regulation 9/06

Table 4: Evaluation of 575 and 577 Kingston Road West - *Ontario Regulation 9/06*

<b>1. The property has design value or physical value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	Y	The subject properties meet this criterion. The house on the property is an example of a Victorian semi-detached house, a building type considered rare within the Town of Ajax and Pickering Village. Built in 1877, the house has a reflected plan, two projecting gabled bays and an inset porch protecting the entrances.
ii. displays a high degree of craftsmanship or artistic merit; or	N	The subject properties do not meet this criterion. The building does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	N	The subject properties do not meet this criterion. Based on the available data, it is not known to demonstrate a high degree of technical or scientific achievement.
<b>2. The property has historical value or associative value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	N	The subject properties do not meet this criterion. While the property is associated with the O'Leary family, which is noted as a prominent early settler family in the village's history, the O'Learys are not known to be significant people within the community. Subsequent owners are also not known to be significant to a community.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or	N	The subject properties do not meet this criterion. The building on properties is one of many residential buildings in the Village of Pickering.  It is not considered to be a significant landmark or structure in the community, and as such, does not have the potential to yield information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	The subject properties do not meet this criterion. The designer and builder of the property are unknown.
<b>3. The property has contextual value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. is important in defining, maintaining or supporting the character of an area;	Y	The subject properties meet this criterion.  The subject properties are important in maintaining and supporting the nineteenth- and early-twentieth-century Euro-Canadian residential streetscape of Kingston Road between Mill Street and Church Street.



		This streetscape developed in the nineteenth century as part of Pickering Village, and Kingston Road was the main east-west street in the village. The subject properties and house contribute to the streetscape of houses primarily constructed in the nineteenth century along Kingston Road between Mill Street and Church Street.
ii. is physically, functionally, visually or historically linked to its surroundings; or	Y	The subject properties meet this criterion. Located on the south side of Kingston Road, the properties are physically, visually and historically linked to the Kingston Road streetscape which was the main east-west street in Pickering Village.
iii. is a landmark.	N	The subject properties do not meet this criterion. The house on the subject properties is one of many residential buildings along Kingston Road and is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure.

### 10.2.2 Ontario Regulation 10/06

Table 5: Evaluation of 575 and 577 Kingston Road West - Ontario Regulation 10/06

1. The property has design value or physical value because it:		
Ontario Heritage Act Criteria	Response (Y/N)	Analysis
i. The property represents or demonstrates a theme or pattern in Ontario's history;	N	The subject property is associated with residential development within the Town of Ajax. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion.
ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history;	N	This property is not considered to retain potential to yield information that contributes to the understanding of Ontario's history. The subject property does not meet this criterion.
iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage;	N	The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion.
iv. The property is of aesthetic, visual or contextual importance to the province;	N	The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion.
v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period;	N	The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion.
vi. The property has a strong or special association with the entire province or with a community that	N	The subject property does not retain a strong or special association with the entire province or with a specific



is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use;		community throughout the province. The subject property does not meet this criterion.
vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and,	N	The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion.
viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property.	N	The property is located within the Town of Ajax (an incorporated municipality), therefore, Criterion 8 does not apply.

### 10.2.3 Recommended Outcome of Evaluation

The above evaluation determined that the properties at 575 and 577 Kingston Road West, in the Town of Ajax, meets the criteria set out in *Ontario Regulation 9/06* of the *Ontario Heritage Act*. In particular, it is determined that the properties together contain a rare local example of a Victorian semi-detached house; that the properties are important in maintaining and supporting the nineteenth-century Euro-Canadian residential streetscape of Kingston Road between Mill Street and Church Street; and that the subject properties are physically, visually and historically linked to the Kingston Road streetscape. An evaluation using the criteria outlined in *Ontario Regulation 10/06* determined that the subject property does not retain CHVI at the provincial level.

### 10.2.4 Statement of Cultural Heritage Value

#### *Description of Property:*

The properties at 575 and 577 Kingston Road West contains a two-and-a-half-storey semi-detached house built in 1877, with a small front lawn and a driveway. The properties are located on the south side of Kingston Road in the historical Village of Pickering, now part of the Town of Ajax, and within a nineteenth- and early-twentieth-century Euro-Canadian residential streetscape located between Mill and Church Streets. Historically, the properties are located on Lot 5 in the Village of Pickering, and Lot 14, Concession 1 in the Township of Pickering.

#### *Statement of Cultural Heritage Value or Interest:*

The properties at 575 and 577 Kingston Road West have design/physical and contextual value. The house is an example of a Victorian semi-detached house, a building type considered rare within the Town of Ajax and Pickering Village. The house has a reflected plan, two projecting gabled bays and an inset porch protecting the entrances. The design and detailing of the building are typical of the Victorian period and incorporate some elements of the Italianate architectural style.



The properties are located on Kingston Road West, between Mill and Church Streets, a nineteenth- and early-twentieth-century Euro-Canadian residential streetscape. This part of Kingston Road formed part of Pickering Village, and was the primary east-west street in the village. Though Kingston Road has been widened in the twentieth century to carry five lanes of traffic, the high concentration of houses built primarily in the nineteenth century maintains the residential village character of the area. The subject properties are important in maintaining and supporting this nineteenth- and early-twentieth century streetscape. They are also physically, visually and historically linked to this streetscape on Kingston Road.

*Description of Heritage Attributes:*

Key attributes that express the design or physical value of the subject properties include:

- The two-and-a-half-storey semi-detached frame house clad in red brick, including:
  - Reflected plan with hipped roof
  - Two projecting bays with front facing gables, decorated with vergeboard
  - Inset porch with wooden brackets over the main entrances
  - Main entrances with original wood frames, transoms and wooden two-panel doors with divided glazing in the upper half
  - Tall, narrow windows with brick segmental arches and hoodmoulds
  - Wooden frame with carved leaf motifs on first-storey windows
  - Round arch gable windows on third storey
  - Small dormer windows at ridge line of east and west elevations
  - Stone foundation
  - Internal brick chimney on west side of house

Key attributes that express the contextual value of the subject property include:

- The location of the property and house on the south side of Kingston Road West, as part of the collection of late-nineteenth- and early-twentieth century residential properties on Kingston Road between Mill and Church Streets.
- The front yard as a setting for the house.
- The current setback of the house from Kingston Road West.
- The orientation of the front (north) elevation facing Kingston Road West.

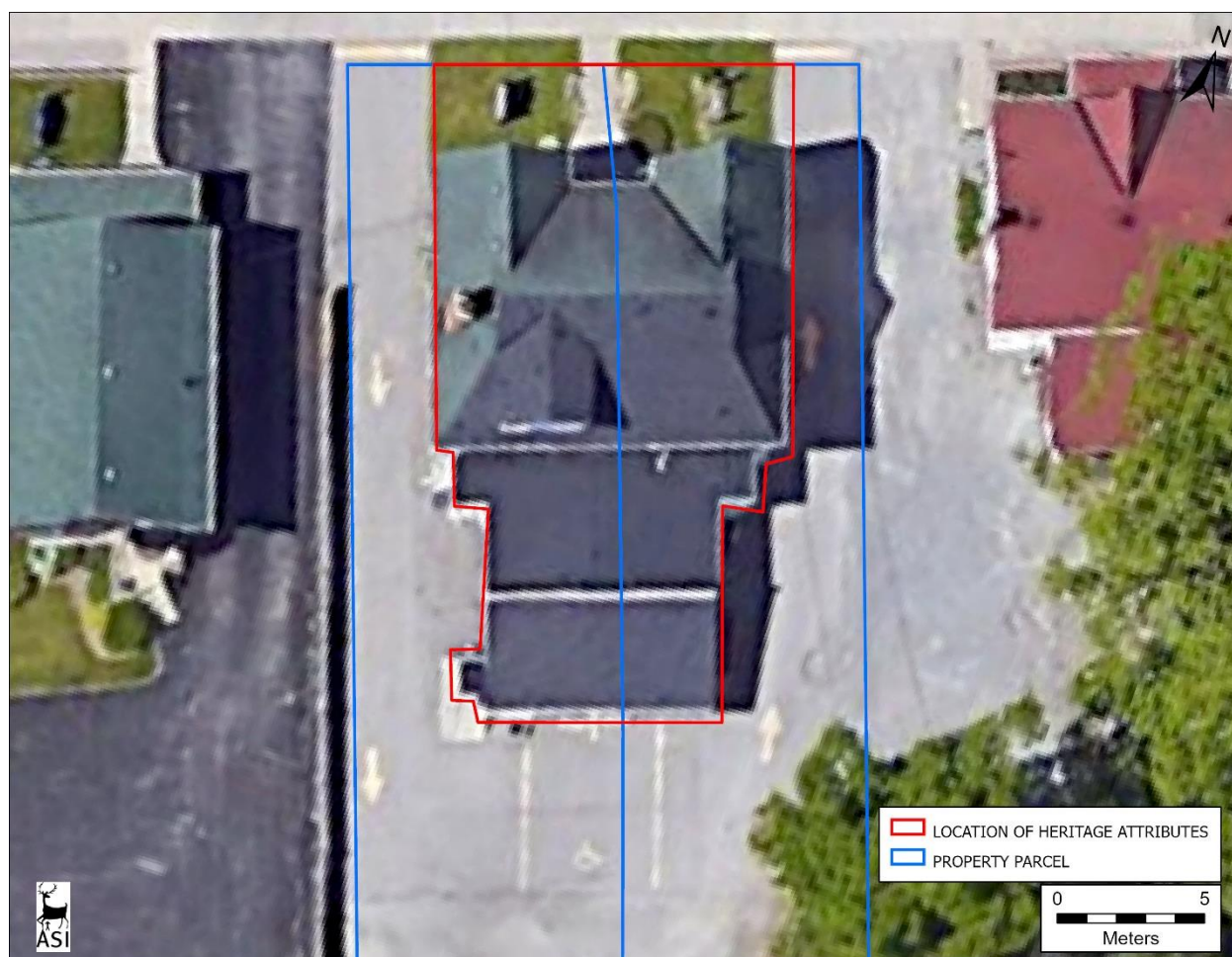


Figure 14: Location of heritage attributes at 575 and 577 Kingston Road West.



### 10.3 579 Kingston Road West

The evaluation of 579 Kingston Road West using the criteria set out in *Ontario Regulations 9/06* and *10/06* is presented in the following sections (Table 6 and Table 7). The following evaluations have been prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax and within the Province of Ontario.

#### 10.3.1 Ontario Regulation 9/06

Table 6: Evaluation of 579 Kingston Road West - *Ontario Regulation 9/06*

1. The property has design value or physical value because it:		
Ontario Heritage Act Criteria	Response (Y/N)	Analysis
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	Y	The subject property meets this criterion. Built in 1921, the house on the property is a representative example of the Edwardian Classical style. Features of the house that are representative of the style include the two-storey form, smooth brick cladding, front gable roof with flared eaves, prominent porch with brick piers and wooden half-columns, and large window openings.
ii. displays a high degree of craftsmanship or artistic merit; or	N	The subject property does not meet this criterion. The building does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	N	The subject property does not meet this criterion. Based on the available data, it is not known to demonstrate a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it:		
Ontario Heritage Act Criteria	Response (Y/N)	Analysis
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	N	The subject property does not meet this criterion. While the property is associated with the O'Leary family, which is noted as a prominent early settler family in the village's history, the O'Learys are not known to be significant people within the community. Subsequent owners are also not known to be significant to a community.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or	N	The subject property does not meet this criterion. The subject property is one of many residential buildings in the Village of Pickering.  It is not considered to be a significant landmark or structure in the community, and as such, does not have the potential to yield information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist,	N	The subject property does not meet this criterion. The designer and builder of the property are unknown.



builder, designer or theorist who is significant to a community.		
<b>3. The property has contextual value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. is important in defining, maintaining or supporting the character of an area;	Y	The subject property meets this criterion. The subject property is important in maintaining and supporting the nineteenth- and early-twentieth-century residential streetscape of Kingston Road between Mill Street and Church Street. This streetscape developed in the nineteenth century as part of Pickering Village, and Kingston Road was the main east-west street in the village. While the subject property was built in 1921, its setback and materials are consistent with the character of the streetscape comprised of houses primarily constructed in the nineteenth century along Kingston Road between Mill Street and Church Street.
ii. is physically, functionally, visually or historically linked to its surroundings; or	Y	The subject property meets this criterion. Located on the south side of Kingston Road, the property is physically, visually and historically linked to the Kingston Road streetscape which was the main east-west street in Pickering Village.
iii. is a landmark.	N	The subject property does not meet this criterion. The subject property is one of many residential buildings along Kingston Road and is not considered to be a landmark within the community at large. Nor is it considered to be a gateway structure.

### 10.3.2 Ontario Regulation 10/06

Table 7: Evaluation of 579 Kingston Road West - Ontario Regulation 10/06

<b>1. The property has design value or physical value because it:</b>		
<b>Ontario Heritage Act Criteria</b>	<b>Response (Y/N)</b>	<b>Analysis</b>
i. The property represents or demonstrates a theme or pattern in Ontario's history;	N	The subject property is associated with residential development within the Town of Ajax. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion.
ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history;	N	This property is not considered to retain potential to yield information that contributes to the understanding of Ontario's history. The subject property does not meet this criterion.
iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage;	N	The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion.



iv. The property is of aesthetic, visual or contextual importance to the province;	N	The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion.
v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period;	N	The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion.
vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use;	N	The subject property does not retain a strong or special association with the entire province or with a specific community throughout the province. The subject property does not meet this criterion.
vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and,	N	The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion.
viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property.	N	The property is located within the Town of Ajax (an incorporated municipality), therefore, Criterion 8 does not apply.

### 10.3.3 Recommended Outcome of Evaluation

The above evaluation determined that the property at 579 Kingston Road West, in the Town of Ajax, meets the criteria set out in *Ontario Regulation 9/06* of the *Ontario Heritage Act*. In particular, it is determined that the property is representative example of an Edwardian Classical style house; that the property is important in maintaining and supporting the nineteenth-century Euro-Canadian residential streetscape of Kingston Road between Mill Street and Church Street; and that the subject property is physically, visually and historically linked to the Kingston Road streetscape. An evaluation using the criteria outlined in *Ontario Regulation 10/06* determined that the subject property does not retain CHVI at the provincial level.

### 10.3.4 Statement of Cultural Heritage Value

#### *Description of Property:*

The property at 579 Kingston Road West contains a two-storey brick-clad house built in 1921, with a small front and side lawn and a driveway. The property is located on the south side of Kingston Road in the historical Village of Pickering, now part of the Town of Ajax, and within a nineteenth- and early-





twentieth-century Euro-Canadian residential streetscape located between Mill and Church Streets. Historically, the property is located on Lot 5 in the Village of Pickering, and Lot 14, Concession 1 in the Township of Pickering.

*Statement of Cultural Heritage Value or Interest:*

The property at 579 Kingston Road West has design/physical and contextual value. The house is representative example of an Edwardian Classical style house. Features of the house that are representative of the style include the two-storey form, smooth brick cladding, front gable roof with flared eaves, prominent porch with brick piers and wooden half-columns, and large window openings. The property is located on Kingston Road West, between Mill and Church Streets, a nineteenth- and early-twentieth-century Euro-Canadian residential streetscape. This part of Kingston Road formed part of Pickering Village, and was the primary east-west street in the village. Though Kingston Road has been widened in the twentieth century to carry five lanes of traffic, the high concentration of houses built primarily in the nineteenth century maintains the residential village character of the area. The subject property is important in maintaining and supporting this nineteenth- and early-twentieth century streetscape. It is also physically, visually and historically linked to this streetscape on Kingston Road.

*Description of Heritage Attributes:*

Key attributes that express the design or physical value of the subject property include:

- The two-storey frame house clad in smooth red brick, including:
  - Side hall plan
  - Front gable roof with flared eaves
  - Porch with hipped roof, supported by brick piers and squared wooden half-columns, and porch walls with decorative lattice brickwork
  - Double hung windows with single pane on bottom and divided lights above
  - Segmental brick arches above window openings
  - Square window with divided sash in attic storey

Key attributes that express the contextual value of the subject property include:

- The location of the property and house on the south side of Kingston Road West, as part of the collection of late-nineteenth- and early-twentieth century residential properties on Kingston Road from Mill to Church Streets.
- The yard at the front, side and back of the house as a setting for the house.
- The current setback of the house from Kingston Road West.
- The orientation of the front (north) elevation facing Kingston Road West.



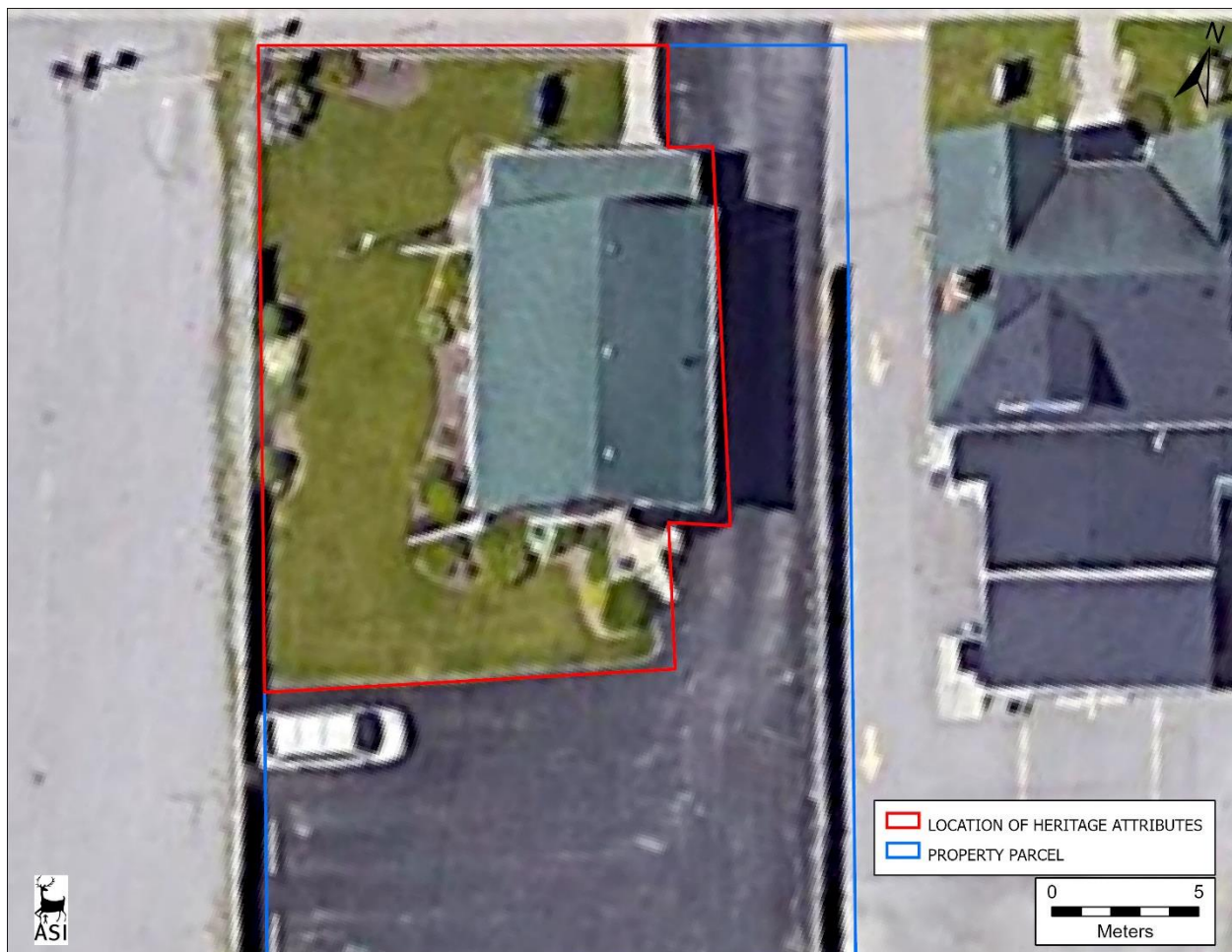


Figure 15: Location of heritage attributes at 579 Kingston Road West.

## 11.0 CONCLUSIONS AND RECOMMENDATIONS

The four subject properties were evaluated against *Ontario Regulations 9/06* and *10/06* in consideration of data regarding the design, historical/associative, and contextual values within the Town of Ajax. All four of the properties at 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West meet the criteria set out in *Ontario Regulation 9/06*. Specifically, the four subject properties were each determined to have design/physical and contextual value. The evaluation using the criteria outlined in *Ontario Regulation 10/06* confirmed that the subject properties do not retain CHVI at the provincial level.

The following recommendations are proposed for the properties at 571 Kingston Road West, 575 Kingston Road West, 577 Kingston Road West and 579 Kingston Road West:

1. As direct impacts are anticipated to the property at 571, 575, 577 and 579 Kingston Road West, a Heritage Impact Assessment (HIA) will be undertaken as early as possible during detailed design, following the TPAP. The HIA will be prepared by a qualified heritage professional in

accordance with the Municipal Terms of Reference for HIAs and the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006).

2. Metrolinx Heritage Committee has reviewed the results of the *Ontario Regulations 9/06* and *10/06* evaluations and is in agreement with the results and recommendations of this report. If it is confirmed that the property will be owned or controlled by Metrolinx, the Metrolinx Heritage Committee will issue a Metrolinx Heritage Committee Decision Form.
3. The Final CHER will be submitted to municipal heritage staff and the MHSTCI for their records.



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## APPENDIX A: Indigenous Engagement and Report Review Feedback - Oral History and Perspectives Table

Community	Feedback
Curve Lake First Nation	<p>The traditional homelands of the Michi Saagiig (Mississauga Anishinaabeg) encompass a vast area of what is now known as southern Ontario. The Michi Saagiig are known as “the people of the big river mouths” and were also known as the “Salmon People” who occupied and fished the north shore of Lake Ontario where the various tributaries emptied into the lake. Their territories extended north into and beyond the Kawarthas as winter hunting grounds on which they would break off into smaller social groups for the season, hunting and trapping on these lands, then returning to the lakeshore in spring for the summer months.</p> <p>The Michi Saagiig were a highly mobile people, travelling vast distances to procure subsistence for their people. They were also known as the “Peacekeepers” among Indigenous nations. The Michi Saagiig homelands were located directly between two very powerful Confederacies: The Three Fires Confederacy to the north and the Haudenosaunee Confederacy to the south. The Michi Saagiig were the negotiators, the messengers, the diplomats, and they successfully mediated peace throughout this area of Ontario for countless generations.</p> <p>Michi Saagiig oral histories speak to their people being in this area of Ontario for thousands of years. These stories recount the “Old Ones” who spoke an ancient Algonquian dialect. The histories explain that the current Ojibwa phonology is the 5th transformation of this language, demonstrating a linguistic connection that spans back into deep time. The Michi Saagiig of today are the descendants of the ancient peoples who lived in Ontario during the Archaic and Paleo-Indian periods. They are the original inhabitants of southern Ontario, and they are still here today.</p> <p>The traditional territories of the Michi Saagiig span from Gananoque in the east, all along the north shore of Lake Ontario, west to the north shore of Lake Erie at Long Point. The territory spreads as far north as the tributaries that flow into these lakes, from Bancroft and north of the Haliburton highlands. This also includes all the tributaries that flow from the height of land north of Toronto like the Oak Ridges Moraine, and all of the rivers that flow into Lake Ontario (the Rideau, the Salmon, the Ganaraska, the Moira, the Trent, the Don, the Rouge, the Etobicoke, the Humber, and the Credit, as well as Wilmot and 16 Mile Creeks) through Burlington Bay and the Niagara region including the Welland and Niagara Rivers, and beyond. The western side of the Michi Saagiig Nation was located around the Grand River which was used as a portage route as the Niagara portage was too dangerous. The Michi Saagiig would portage from present-day Burlington to the Grand River and travel south to the open water on Lake Erie.</p> <p>Michi Saagiig oral histories also speak to the occurrence of people coming into their territories sometime between 500-1000 A.D. seeking to establish villages and a corn growing economy – these newcomers included peoples that would later be known as</p>



	<p>the Huron-Wendat, Neutral, Petun/Tobacco Nations. The Michi Saagiig made Treaties with these newcomers and granted them permission to stay with the understanding that they were visitors in these lands. Wampum was made to record these contracts, ceremonies would have bound each nation to their respective responsibilities within the political relationship, and these contracts would have been renewed annually (see Gitiga Migizi and Kapyrka 2015).</p> <p>These visitors were extremely successful as their corn economy grew as well as their populations. However, it was understood by all nations involved that this area of Ontario were the homeland territories of the Michi Saagiig.</p> <p>The Odawa Nation worked with the Michi Saagiig to meet with the Huron-Wendat, the Petun, and Neutral Nations to continue the amicable political and economic relationship that existed – a symbiotic relationship that was mainly policed and enforced by the Odawa people.</p> <p>Problems arose for the Michi Saagiig in the 1600s when the European way of life was introduced into southern Ontario. Also, around the same time, the Haudenosaunee were given firearms by the colonial governments in New York and Albany which ultimately made an expansion possible for them into Michi Saagiig territories. There began skirmishes with the various nations living in Ontario at the time. The Haudenosaunee engaged in fighting with the Huron-Wendat and between that and the onslaught of European diseases, the Iroquoian speaking peoples in Ontario were decimated.</p> <p>The onset of colonial settlement and missionary involvement severely disrupted the original relationships between these Indigenous nations. Disease and warfare had a devastating impact upon the Indigenous peoples of Ontario, especially the large sedentary villages, which mostly included Iroquoian speaking peoples. The Michi Saagiig were largely able to avoid the devastation caused by these processes by retreating to their wintering grounds to the north, essentially waiting for the smoke to clear.</p> <p>Michi Saagiig Elder Gitiga Migizi (2015) recounts:</p> <p><i>“We weren’t affected as much as the larger villages because we learned to paddle away for several years until everything settled down. And we came back and tried to bury the bones of the Huron but it was overwhelming, it was all over, there were bones all over – that is our story.</i></p> <p><i>There is a misnomer here, that this area of Ontario is not our traditional territory and that we came in here after the Huron-Wendat left or were defeated, but that is not true. That is a big misconception of our history that needs to be corrected. We are the traditional people, we are the ones that signed treaties with the Crown. We are recognized as the ones who signed these treaties and we are the ones to be dealt with officially in any matters concerning territory in southern Ontario.</i></p>
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*We had peacemakers go to the Haudenosaunee and live amongst them in order to change their ways. We had also diplomatically dealt with some of the strong chiefs to the north and tried to make peace as much as possible. So we are very important in terms of keeping the balance of relationships in harmony.*

*Some of the old leaders recognized that it became increasingly difficult to keep the peace after the Europeans introduced guns. But we still continued to meet, and we still continued to have some wampum, which doesn't mean we negated our territory or gave up our territory – we did not do that. We still consider ourselves a sovereign nation despite legal challenges against that. We still view ourselves as a nation and the government must negotiate from that basis."*

Often times, southern Ontario is described as being "vacant" after the dispersal of the Huron-Wendat peoples in 1649 (who fled east to Quebec and south to the United States). This is misleading as these territories remained the homelands of the Michi Saagiig Nation.

The Michi Saagiig participated in eighteen treaties from 1781 to 1923 to allow the growing number of European settlers to establish in Ontario. Pressures from increased settlement forced the Michi Saagiig to slowly move into small family groups around the present day communities: Curve Lake First Nation, Hiawatha First Nation, Alderville First Nation, Scugog Island First Nation, New Credit First Nation, and Mississauga First Nation.

The Michi Saagiig have been in Ontario for thousands of years, and they remain here to this day.

**\*\*This historical context was prepared by Gitiga Migizi, a respected Elder and Knowledge Keeper of the Michi Saagiig Nation.\*\***

Publication reference:

Gitiga Migizi and Julie Kapyrka

2015 Before, During, and After: Mississauga Presence in the Kawarthas. In *Peterborough Archaeology*, Dirk Verhulst, editor, pp.127-136. Peterborough, Ontario: Peterborough Chapter of the Ontario Archaeological Society

#### Additional Community Perspectives:

**\*\*The following perspectives come from a June 2021 letter provided to Metrolinx from Curve Lake First Nation, on file with ASI.\*\***

Curve Lake First Nation

2021 Curve Lake First Nation Review/Comments for: Cultural Heritage Evaluation Report: 571 Kingston Road West, 575 Kingston Road West,



	<p>577 Kingston Road West AND 579 Kingston Road West Town of Ajax, Ontario.</p> <p>“The Duffin’s creek watershed and river mouth are part of an area that should have some recognition in terms of Michi Saagiig history. This area was extremely significant to the Michi Saagiig and is recognized internally as a significant cultural heritage landscape. Recently the Ontario Government has indicated a desire to add increased protection to these areas now referred to as “urban creeks/urban river systems” as part of their Greenbelt protection plan. These systems are at risk across the entirety of the Pickering and Ajax regions, due in large part to settler development activities. What was once a cultural heritage landscape has been significantly degraded which means it has also undergone irreparable ecological damage.”</p> <p>“Our Elders tell of our peoples living harmoniously with the early settlers, often setting up small camps on the edge of farmer’s fields and along shorelines. Families engaged in trade and travel throughout the entire region.”</p> <p>“The cultural heritage landscape, the Duffins Creek Watershed, that existed in the area of study of this CHER, and at the time that the first houses and roads were built, has largely been obliterated – and did not have the opportunity to be assessed and protected. Since then, development has altered the shape and course of the creek – this is clearly visible in the historical pictures provided in this report.”</p> <p>“The very locations of where these buildings were built in relation to where the early towns and villages originated were determined based upon the resources within the particular landscape. Milling was the predominant activity in the region that ultimately attracted more industry to the area. The watershed and local resources on the land were integral to this process. For different reasons, but equally as significant, the Duffins Creek watershed was part of a larger cultural heritage landscape for Michi Saagiig people that included creeks and river mouths all along the shore of Lake Ontario. The value and significance of these lands from a Michi Saagiig perspective is not acknowledged. “</p> <p>“The 28,000 acres that was expropriated for the site of former Defence Industries Ltd was part of a significant cultural heritage landscape that was once entirely connected and spanned along the vast shoreline of Lake Ontario - and would have been used by Michi Saagiig peoples at the time. The massive infrastructure and development of the region resulted in the disconnection of this culturally significant landscape and thus in reduced access for the Michi Saagiig to hunt and fish.”</p> <p>“It should be noted that during these times of industrial and commercial expansion Michi Saagiig peoples were being driven from their lands, their fishing grounds, their hunting grounds, their trapping grounds and harvesting grounds. In some cases they were being shot at and pursued. The 1923 Williams Treaties were a culmination of the increased encroachment on these lands and the harassment and persecution of the First Nations who had rights under the very treaty that allowed for European</p>
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	<p>settlement in this area of Ontario. These large urban developments increased the footprint of destruction upon the landscape and in doing so had a detrimental impact upon Michi Saagiig rights to gather foods and live off the land.”</p> <p><b><i>Note: This oral history reflects community perspective shared as part of Indigenous engagement for this report. The oral history was provided by Curve Lake First Nation and does not necessarily reflect the views of other Indigenous Nations, Metrolinx or ASI.</i></b></p>
Huron-Wendat Nation	<p>As an ancient people, traditionally, the Huron-Wendat, a great Iroquoian civilization of farmers and fishermen-hunter-gatherers representing between 30,000 and 40,000 individuals, traveled widely across a territory stretching from the Gaspé Peninsula in the Gulf of Saint Lawrence and up along the Saint Lawrence Valley on both sides of the Saint Lawrence River all the way to the Great Lakes.</p> <p>According to our own traditions and customs, the Huron-Wendat are intimately linked to the Saint Lawrence River and its estuary, which is the main route of its activities and way of life. The Huron-Wendat formed alliances and traded goods with other First Nations among the networks that stretched across the continent.</p> <p>Today, the population of the Huron-Wendat Nation is composed of 1497 on-reserve members and 2390 off-reserve members for a total of 3900 members of the Huron-Wendat Nation.</p> <p>The Huron-Wendat Nation band council (CNHW) is headquartered in Wendake, the oldest First Nations community in Canada, located on the outskirts of Quebec City (20 km north of the city) on the banks of the Saint Charles River. There is only one Huron-Wendat community, whose ancestral territory is called the Nionwentsïo, which translates to "our beautiful land" in the Wendat language.</p> <p>The Huron-Wendat Nation is also the only authority that have the authority and rights to protect and take care of her ancestral sites in Wendake South.</p> <p><b><i>**This historical context was provided by Maxime Picard in a December 2020 email to Metrolinx, on file with ASI**</i></b></p> <p><b><i>Note: This oral history reflects community perspective shared as part of Indigenous engagement for this report. The oral history was provided by Huron-Wendat Nation and does not necessarily reflect the views of other Indigenous Nations, Metrolinx or ASI.</i></b></p>