

Appendix E10 –
Cultural Heritage Evaluation Report

425 528 Dundas St E & 207 Dundas St W

CULTURAL HERITAGE EVALUATION REPORT

207 DUNDAS STREET WEST, 425 DUNDAS STREET EAST, AND 528 DUNDAS STREET EAST

TOWN OF WHITBY, ONTARIO

FINAL REPORT

Parsons

625 Cochrane Drive, Suite 300
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ASI File: 21CH-183

December 2021 (Revised January and February 2022)





Metrolinx acknowledges that it operates on the lands of Indigenous Peoples, including the Anishinaabe, the Haudenosaunee and the Wendat peoples, and that these lands are covered by Treaty.

In particular, we wish to recognize that the proposed work and project study area of the Durham-Scarborough BRT is situated on the treaty territory of the Williams Treaties First Nations, and the Mississaugas of the Credit First Nation, and we acknowledge that the lands are covered by the Gunshot Treaty 1788, the Williams Treaty 1923, and the Williams Treaty Settlement of 2018.*

Metrolinx has a responsibility to recognize and value the rights of Indigenous Nations and Peoples and conduct business in a manner that is built on the foundation of trust, respect and collaboration. Metrolinx is committed to building meaningful relationships with Indigenous Nations and working towards meaningful reconciliation with the original caretakers of this land. We wish to thank Indigenous Nations for their contributions to these reports.

** Notwithstanding the foregoing, nothing in this acknowledgement shall be interpreted so as to indicate Metrolinx's position on any Treaty territory or right.*

CULTURAL HERITAGE EVALUATION REPORT
207 DUNDAS STREET WEST, 425 DUNDAS STREET EAST, AND 528 DUNDAS STREET EAST
TOWN OF WHITBY, ONTARIO

EXECUTIVE SUMMARY

ASI was contracted by Parsons on behalf of Metrolinx to conduct a Cultural Heritage Evaluation Report (CHER) for three properties along Dundas Street in the Town of Whitby. These properties include 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East. This CHER is part of the Durham-Scarborough Bus Rapid Transit Project (DSBRT). To date, ASI has completed the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021) to determine which properties in the DSBRT Project Study Area require assessment for cultural heritage value and interest under *Ontario Regulations 9/06* and *10/06*. These properties were identified as potential built heritage resources that are anticipated to be directly impacted by the DSBRT preliminary design footprint (August 2021) as documented in the Cultural Heritage Report referred to above. As such, a CHER is required to determine if the properties have cultural heritage value or interest (CHVI) under *Ontario Regulations 9/06* and *10/06*. Currently, all three properties are privately owned.

207 Dundas Street West is not currently identified on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c), however it was identified by Town of Whitby staff as a potential built heritage resource. 425 Dundas Street East and 528 Dundas Street East are listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c). All three properties were evaluated using *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. These evaluations were prepared in consideration of data regarding the design, historical/associative, and contextual values within the Town of Whitby and in the Province of Ontario. These evaluations determined that the properties at 207 Dundas Street West and 425 Dundas Street East each meet some of the criteria outlined in *Ontario Regulation 9/06* and therefore are considered to have CHVI in the local context. 528 Dundas Street East did not meet any of the criteria outlined in *Ontario Regulation 9/06*, and none of the properties met the criteria outlined in *Ontario Regulation 10/06*.

Property ownership and/or control of 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East will be confirmed during detailed design.

The following recommendations are proposed:

1. As direct impacts are anticipated to the properties at 207 Dundas Street West and 425 Dundas Street East, a resource-specific Heritage Impact Assessment (HIA) will be undertaken as early as possible during detailed design, following the Transit Project Assessment Process (TPAP). The HIA



will be prepared by a qualified heritage professional in accordance with the Municipal Terms of Reference for HIAs and the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006).

2. Metrolinx Heritage Committee has reviewed the results of the *Ontario Regulations 9/06* and *10/06* evaluations and is in agreement with the results and recommendations of this report. If it is confirmed that the property will be owned or controlled by Metrolinx, the Metrolinx Heritage Committee will issue a Metrolinx Heritage Committee Decision Form.
3. The property located at 528 Dundas Street was not found to meet *Ontario Regulation 9/06* at the current time and based on information available and analysis completed. It is not known to retain significant design, associative, or contextual values. The building is not known to be a good representative, early, unique or rare example of a style, expression, material, or construction method. Additionally, while some notable individuals are known to have lived in the house, and an earlier building was located on the lot by the 1851 census, direct associations between these individuals and the extant residence in its current condition and with earlier structures appear to have been lost or diminished given the alterations that have been sustained to the building over time. Such alterations include recladding of the exterior; additions to the rear; and removal of original windows and doors on the front façade. Given these conclusions and also in consideration of feedback received to date from the Town of Whitby regarding this report's conclusions with respect to the subject property, the evaluation may be revisited if the Town of Whitby has additional information to provide. At the earliest stage of detailed design, Whitby heritage staff and the Whitby Heritage Advisory Committee will be consulted.
4. The Final CHER will be submitted to municipal heritage staff and the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) for their records



PROJECT PERSONNEL

| | |
|--------------------------------|--|
| <i>Senior Project Manager:</i> | Lindsay Graves, MA CAHP Senior Cultural Heritage Specialist Assistant Manager - Cultural Heritage Division |
| <i>Project Coordinator</i> | Jessica Bisson, BFA (Hon), Dip. Heritage Conservation Project Administrator – Cultural Heritage Division |
| <i>Project Manager:</i> | Lindsay Graves |
| <i>Historical Research:</i> | Michael Wilcox, PhD Cultural Heritage Technician Technical Writer and Researcher - Cultural Heritage Division |
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| <i>Report Production:</i> | Kirstyn Allam Michael Wilcox |
| <i>Graphics Production:</i> | Peter Bikoulis, PhD Archaeologist GIS Technician – Operations Division |
| <i>Report Reviewer(s):</i> | Lindsay Graves |



QUALIFIED PERSONS INVOLVED IN THE PROJECT

Lindsay Graves, MA, CAHP

Senior Cultural Heritage Specialist / Assistant Manager - Cultural Heritage Division

The Senior Project Manager for this Cultural Heritage Evaluation Report is **Lindsay Graves** (MA, Heritage Conservation), Senior Cultural Heritage Specialist and the Assistant Manager for the Cultural Heritage Division at ASI. She was responsible for: overall project scoping and approach; development and confirmation of technical findings and study recommendations; application of relevant standards, guidelines and regulations; and implementation of quality control procedures. Lindsay is academically trained in the fields of heritage conservation, cultural anthropology, archaeology, and collections management and has over 15 years of experience in the field of cultural heritage resource management. This work has focused on the assessment, evaluation, and protection of above ground cultural heritage resources. Lindsay has extensive experience undertaking archival research, heritage survey work, heritage evaluation and heritage impact assessment. She has also contributed to cultural heritage landscape studies and heritage conservation plans, led heritage commemoration and interpretive programs, and worked collaboratively with multidisciplinary teams to sensitively plan interventions at historic sites/places. In addition, she is a leader in the completion of heritage studies required to fulfil Class EA processes and has served as Project Manager for over 100 heritage assessments during her time at ASI. Lindsay is a member of the Canadian Association of Heritage Professionals.

Michael Wilcox, PhD

Cultural Heritage Technician / Technical Writer and Researcher - Cultural Heritage Division

One of report writers for this report is **Michael Wilcox** (PhD, History), who is a Cultural Heritage Technician and Technical Writer and Researcher within the Cultural Heritage Division at ASI. He was responsible for preparing and contributing to background historical research, reviewing existing heritage inventories, and technical reporting for this project. His current responsibilities focus on identifying and researching historical documents as well as background research, assessment, and evaluation of cultural heritage resources in Ontario. He has over a decade of combined academic and workplace experience in conducting historical research and crafting reports, presentations, articles, films, and lectures on a wide range of Canadian history topics.

Kirstyn Allam, BA (Hon), Advanced Diploma in Applied Museum Studies

Cultural Heritage Technician / Technical Writer and Researcher - Cultural Heritage Division

One of the report writers for this report is **Kirstyn Allam** (BA (Hon), Advanced Diploma in Applied Museum Studies), who is a Cultural Heritage Technician and Technical Writer and Researcher within the Cultural Heritage Division with ASI. She was responsible for preparing and contributing to research and technical reporting. Kirstyn Allam's education and experience in cultural heritage, historical research, archaeology, and collections management has provided her with a deep knowledge and strong understanding of the issues facing the cultural heritage industry and best practices in the field. Kirstyn has experience in heritage conservation principles and practices in cultural resource management, including three years' experience as a member of the Heritage Whitby Advisory Committee. Kirstyn also has experience being involved with Stage 1-4 archaeological excavations in the Province of Ontario.



GLOSSARY

| Term | Definition |
|--|---|
| Adjacent | “contiguous properties as well as properties that are separated from a heritage property by narrow strip of land used as a public or private road, highway, street, lane, trail, right-of-way, walkway, green space, park, and/or easement or as otherwise defined in the municipal official plan” (Ministry of Tourism, Culture and Sport, 2010). |
| Built Heritage Resource (BHR) | “...a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i> , or that may be included on local, provincial, federal and/or international registers” (Government of Ontario, 2020, p. 41). |
| <i>Ontario Regulation 9/06</i> and <i>Ontario Regulation 10/06</i> | The two criteria sets share a requirement to fully understand the history, design and associations of all cultural heritage resources of the properties. The following differences between the two sets of criteria should be noted: <ul style="list-style-type: none"> • <i>Ontario Regulation 9/06</i> requires a consideration of the community context; and • <i>Ontario Regulation 10/06</i> requires a consideration of the provincial context. |
| Potential Cultural Heritage Resource | A potential cultural heritage resource is a property that has the potential for cultural heritage value or interest. This can include properties/project area that contain a parcel of land that is the subject of a commemorative or interpretive plaque, is adjacent to a known burial site and/or cemetery, is in a Canadian Heritage River Watershed, or contains buildings or structures that are 40 or more years old (Ministry of Tourism, Culture and Sport, 2016). |
| Significant | With regard to cultural heritage and archaeology resources, significant means “resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the <i>Ontario Heritage Act</i> . While some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation” (Government of Ontario, 2020, p. 51). |



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1.0 INTRODUCTION

1.1 Report Purpose

ASI was contracted by Parsons on behalf of Metrolinx to conduct a Cultural Heritage Evaluation Report (CHER) for three properties along Dundas Street in Whitby. These properties are 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East (Figure 1). This CHER is being undertaken as part of the Durham-Scarborough Bus Rapid Transit Project (DSBRT). These properties were identified as potential built heritage resources that are anticipated to be directly impacted by the DSBRT preliminary design footprint (August 2021) as documented in the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021). As such, a CHER is required to determine if the properties have cultural heritage value or interest (CHVI) under *Ontario Regulations 9/06 and 10/06*.

The scope of this CHER is guided by the Ministry of Tourism, Culture and Sports' (now administered by the Ministry of Heritage, Tourism, Sport and Culture Industries) *Ontario Heritage Tool Kit* (2006), the *Town of Whitby Official Plan* (2018), and is compliant with the *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014).

Property ownership and/or control of 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East will be confirmed during detailed design.

1.2 Project Overview

In 2018, Metrolinx completed the DSBRT Initial Business Case (Metrolinx, 2018). The study recommended a preferred bus rapid transit alignment between Downtown Oshawa (in Durham Region) and Scarborough Centre (in the City of Toronto). The project has now advanced to the Preliminary Design Business Case and Environmental Assessment/Transit Project Assessment Process (TPAP) phase in accordance with the Metrolinx Business Case Framework, for capital investment projects. IBI Group and Parsons are managing the project on behalf of Metrolinx.

The DSBRT project proposes approximately 36 kilometres of dedicated transit infrastructure, connecting downtown Oshawa, Whitby, Ajax, Pickering and Scarborough. This project builds on the existing PULSE service and will provide more dedicated transit infrastructure along Highway 2 and Ellesmere Road to connect to Scarborough Centre. The corridor has varied traffic, land use conditions and constraints. With rapid growth in the past decade, and an expectation for this growth to continue into the future, travel demand along the corridor will continue to increase and higher capacity transit will be needed to link communities and employment on both sides of the Toronto-Durham boundary. Transit infrastructure will include a range of design solutions in different segments of the corridor. The preliminary design concept includes segments with buses operating with transit priority measures, and segments with dedicated curbside or centre-median transit lanes. The design concept varies by segment based on available space, travel demand, and land use context.



1.3 Description of Properties

1.3.1 207 Dundas Street West

The property at 207 Dundas Street West in the Town of Whitby is on the south side of Dundas Street West (Figure 1). The property is approximately 28 metres east of Centre Street South. The property features a two-storey mixed use commercial building that was constructed in 1880 as the Whitby House Hotel. The building has a rectangular footprint with later rear additions, a simple parapet along the roofline of the front façade, and projecting quoins. The front façade features three bays with arched windows along the second storey and altered windows and entryway along the main floor. The building has been covered in stucco. A concrete patio area is located along the front elevation of the building with concrete steps and metal railings. There are two chimneys along the eastern elevation and two chimneys along the western elevation. The Dundas Street corridor is an east-west oriented roadway with primarily commercial uses located along the roadway in the immediate vicinity of the subject property. To the south of the subject property are former residences which have been converted to commercial uses along Colborne Street West.

1.3.2 425 Dundas Street East

The property at 425 Dundas Street East in the Town of Whitby is on the southwest corner of Dundas Street East and Reynolds Street (Figure 1). The property features a two-storey Italianate brick residence constructed in 1859, formerly known as the William Burns House and later as the Pugsley Manor. The residence features a hipped roof and dichromatic brickwork with a decorative enclosed front porch. The windows of the residence feature flat arches in buff brick. The house rests on a fieldstone foundation. The roof features asphalt shingles and overhanging eaves with decorative brackets. A chimney is located along the western elevation. The residence has modern additions at the rear and eastern elevation. A detached garage is also located to the southwest of the residence. The Dundas Street corridor is an east-west oriented roadway with a mixture of residential and commercial properties located along the roadway to both the east and west of the subject property. Both Pine Street and Reynolds Street are north-south oriented roadways with primarily residences lining them.

1.3.3 528 Dundas Street East

The property at 528 Dundas Street East in the Town of Whitby is on the north side of Dundas Street East and is set close to the road (Figure 1). The property is approximately 91 metres east of Pine Street. The property features a two-storey, three bay residence that was constructed between 1852 and 1860. The house features a hipped roof with overhanging eaves, asphalt shingles, and a chimney along the western elevation. The residence has symmetrical windows flanking the covered front entrance. The house has been covered in stucco which extends down to ground level. The covered entrance rests on concrete and has metal railings. A transom window is located above the doorway along the southern elevation. The house has a one-and-a-half storey rear addition with gable roof and a saltbox extension. A brick chimney is located at the northern end of the addition. Another small addition is also located along the eastern elevation of the rear addition (possibly a coldroom). A detached garage is located to the northeast of the residence. The Dundas Street corridor is an east-west oriented roadway with primarily residential or former residential properties in the vicinity of the subject property. The property is surrounded by a low-rise apartment building to the east and a residence to the west. Across the street to the south is a low-rise apartment building, and to the north is another residence.



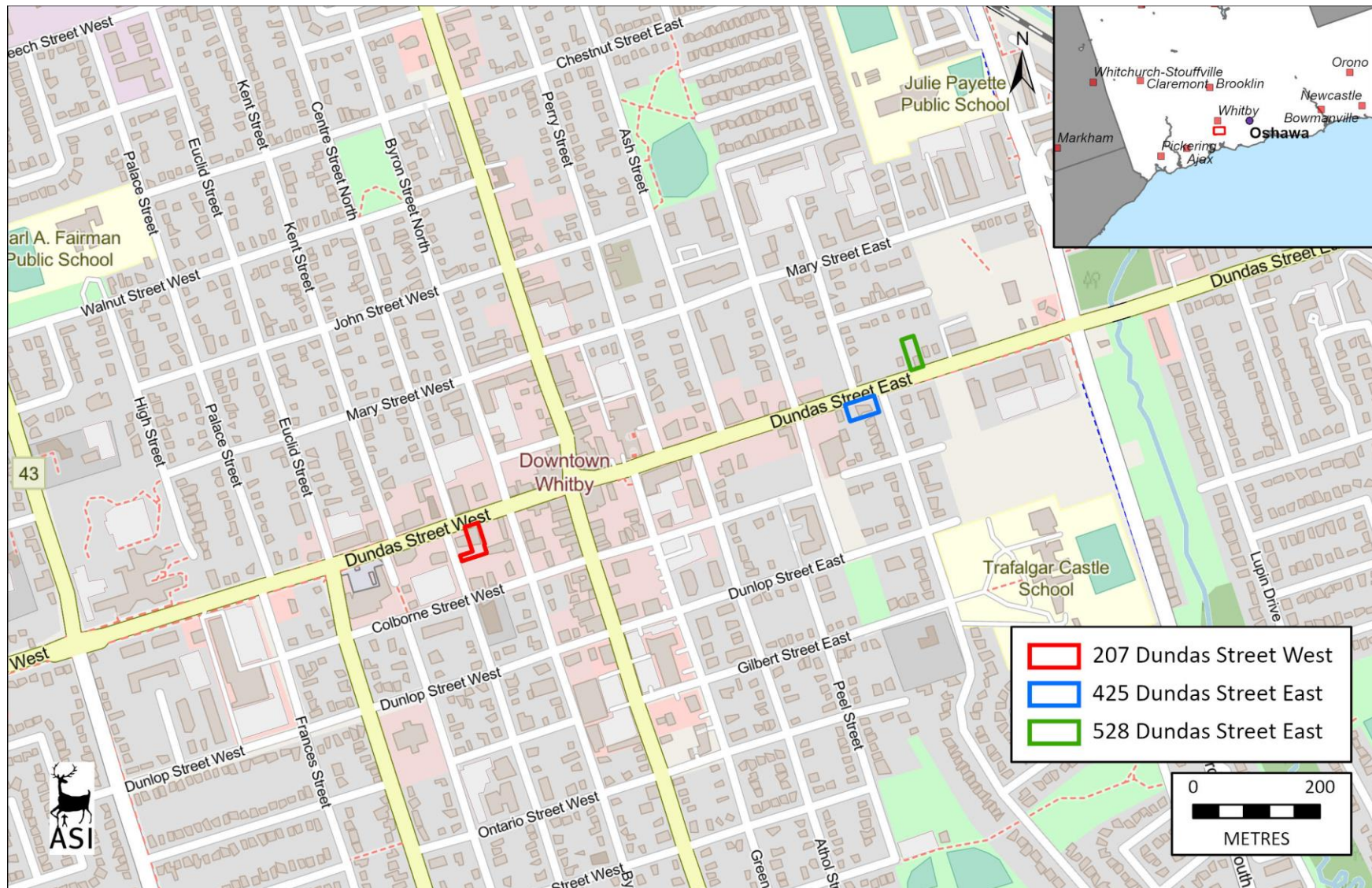


Figure 1: Location of the subject properties at 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East
Source: (c) Open Street Map contributors, Creative Commons n.d.

1.4 Historical Summary

1.4.1 207 Dundas Street West

The structure at 207 Dundas Street West was erected in 1880 as the Whitby House Hotel. It was the second hotel on this site, the first having been built in 1875 but destroyed in a fire in 1879. The hotel was built for Joseph Bandel (1826-1896) and his wife Mary (1833-1914). It was designed by architect Hiram R. Barber of Oshawa. The hotel was owned and operated by members of the Bandel family from 1880 to 1948 and was a prominent institution in the community throughout that time. The building underwent significant alterations at various times throughout the twentieth century. Nevertheless, it continued as a hotel until the early 1980s. Since then, it has been home to a variety of entertainment and/or restaurant enterprises.

1.4.2 425 Dundas Street East

The two-storey brick residence at 425 Dundas Street East was constructed in 1859. The house was built for William Burns, a shoemaker and later a merchant, who had purchased the property in 1852. Burns and members of his family lived in the subject residence from its construction through to the mid-1930s. This included William's son Frederick Napier Burns, who was a prominent Whitby merchant and civic leader, serving the town as Mayor and as a member of the Public Utility Commission. Following his death in 1932, the executors of his estate issued a Quit Claim on the property in 1934 and the subject property transferred to William A. Watson. The residence was next purchased by Evelyn Moorby in 1940 and she lived there for the following 28 years. In 1968, Gascoigne Holdings Ltd. purchased the property and likely began to rent out the building to tenants. Several other people owned the property between the late 1970s and mid-1980s, when it was sold to Robert and Bonnie Parkinson. They were the owners when a major addition was added to the west side of the building. Under the Parkinsons' ownership, the subject residence was converted into Pugsley Manor, a home for a diverse array of people who needed psychiatric care or were facing difficult social and/or familial circumstances. By 1993, the house was vacant and the building placed in receivership. It was purchased by the Muslim Welfare Centre of Toronto in 1995. The residence was renamed the Muslim Welfare Home for Needy Women and Children in 1996. Since that time, the site has offered various services to vulnerable women and children.

1.4.3 528 Dundas Street East

The two-storey residence at 528 Dundas Street East was constructed between 1852 and 1860 when it was under the ownership of Charles Scott. The architect and builder remain unknown. After Charles Scott's death in 1885, the house came into the ownership of Elizabeth Scott, whose husband Jerome was Charles' son. This couple and their two daughters Ethelyn and Edith lived in the subject structure until Jerome Scott's death in 1917. Thereafter, the surviving members of the family continued to live in the residence, and included the daughters' husbands. Elizabeth Scott owned the house until 1921, when she sold it to her daughter Ethelyn and husband John MacDonald. They likely lived in the subject residence until their deaths in 1931 and 1935 respectively. The property then came into the ownership of members of the Collins family until 1973. However, it is likely that they rented it out to tenants for that entire time, as various occupants are listed as living in the residence according to a wide variety of



sources. Russell and Ada Collins sold the property to Heather J. Bowyer in 1973. She owned it until at least the late 1980s, and during that time, the residence continued to be rented out to tenants.

2.0 METHODOLOGY AND SOURCES

2.1 Legislation and Policy Context

This cultural heritage evaluation considers cultural heritage resources in the context of improvements to specified areas, pursuant to the Ontario *Environmental Assessment Act* (Environmental Assessment Act, R.S.O., 1990). Pursuant to the *Environmental Assessment Act*, applicable infrastructure projects are subject to assessment to determine related impacts on above ground cultural heritage resources (Ministry of Transportation, 2007). Infrastructure projects have the potential to impact cultural heritage resources in a variety of ways such as loss or displacement of resources through removal or demolition and the disruption of resources by introducing physical, visual, audible, or atmospheric elements that are not in keeping with the resources and/or their setting.

The analysis used throughout the cultural heritage evaluation process addresses cultural heritage resources under other various pieces of legislation and their supporting guidelines:

- *Environmental Assessment Act* (Environmental Assessment Act, R.S.O., 1990)
- *Ontario Heritage Act* (Ministry of Culture, 1990)
- *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (Ministry of Tourism, Culture and Sport, 2010)
- *Standards and Guidelines for the Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014)
- *Ontario Heritage Tool Kit* (Ministry of Culture, 2006)
- *Planning Act* (Planning Act, R.S.O. 1990, c. P.13, 1990) and the 2020 *Provincial Policy Statement* (Government of Ontario, 2020)

2.2 Approach to Cultural Heritage Evaluation Reports

The scope of a CHER is guided by the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006) and municipal Terms of Reference, if available. The Town of Whitby does not have Terms of Reference for the preparation of CHERs. This CHER is compliant with the *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (Ministry of Tourism, Culture and Sport, 2014).

Generally, CHERs include the following components:

- A general description of the history of the study areas as well as detailed historical summaries of property ownership and building(s) development;
- A description of the cultural heritage landscapes and/or built heritage resources being evaluated as part of this report;
- Representative photographs of the exterior and interior of a building or structure, and character-defining architectural details;
- A cultural heritage resource evaluation guided by the *Ontario Heritage Act* criteria;



- A summary of heritage attributes;
- Historical mapping, photographs; and
- A location plan.

A site visit to the subject properties was conducted on 23 November 2021 by Kirstyn Allam, Cultural Heritage Technician, ASI. The site visit included photographic documentation of the subject properties from the publicly accessible rights-of-way along Dundas Street, Centre Street South, Pine Street, and Reynolds Street. ASI placed a request for permission to enter (PTE) with Metrolinx at project commencement in order to access these privately-owned properties and take photographs of all exterior elevations. As of submission of this report, PTE has not been granted. However, ASI was able to successfully and adequately view the property from the public right-of-way in order to allow for the evaluation of the property against criteria under *Ontario Regulations 9/06* and *10/06*.

Using background information and data collected during the site visits, the properties were evaluated using criteria contained within *Ontario Regulations 9/06* and *10/06* of the *Ontario Heritage Act*. The criteria requires a full understanding, given the resources available, of the history, design and associations of all cultural heritage resources of the properties.

2.3 List of Key Sources and Research Limitations

2.3.1 Key Sources

Background historical research, which includes consulting primary and secondary source documents, photos, and historic mapping, was undertaken to identify early settlement patterns and broad agents or themes of change in the study areas. In addition, archival research was undertaken at the following libraries and archives to build upon information gleaned from other primary and secondary materials:

- Town of Whitby Online Archives Collection (Whitby Public Library, n.d.)
- Archives of Ontario (Archives of Ontario, n.d.)
- Library and Archives Canada (Library and Archives Canada, n.d.)

Available federal, provincial, and municipal heritage inventories and databases were also consulted to obtain information about the properties. These included:

- The Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c);
- The Town of Whitby's *Municipal Heritage Register – Inventory of Part IV Designated Properties – Individual Property Designation* (Town of Whitby, 2020d);
- The Town of Whitby's *Municipal Heritage Register – Inventory of Part V Designated Properties – Werden's Plan Neighbourhood Heritage Conservation District* (Town of Whitby, 2020b);
- *Municipal Heritage Register – Inventory of Part V Designated Properties – Brooklin Heritage Conservation District* (Town of Whitby, 2020a);
- The *Ontario Heritage Act Register* (Ontario Heritage Trust, n.d.b);
- The *Places of Worship Inventory* (Ontario Heritage Trust, n.d.c);
- The inventory of Ontario Heritage Trust easements (Ontario Heritage Trust, n.d.a);
- The Ontario Heritage Trust's *Ontario Heritage Plaque Guide*: an online, searchable database of Ontario Heritage Plaques (Ontario Heritage Trust, n.d.d);



- Parks Canada's *Directory of Federal Heritage Designations*, an on-line database that identifies National Historic Sites, National Historic Events, National Historic People, Heritage Railway Stations, Federal Heritage Buildings, and Heritage Lighthouses (Parks Canada, n.d.b); and
- Parks Canada's *Historic Places* website, an on-line register that provides information on historic places recognized for their heritage value at all government levels (Parks Canada, n.d.a).

Previous consultant reports associated with potential above-ground cultural heritage resources and archaeological resources within and/or adjacent and/or in the vicinity of the subject properties in the Town of Whitby included the following:

- *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021)
- *Stage 1 Archaeological Assessment – Durham-Scarborough Bus Rapid Transit Project (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; City of Oshawa; and Town of Ajax; Town of Whitby, Ontario – Existing Conditions* (ASI 2019)
- *Stage 1 Archaeological Assessment Durham-Scarborough Bus Rapid Transit Project Various Lots and Concessions, (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; City of Oshawa; and Town of Ajax; Town of Whitby, Ontario* (ASI, 2022)
- *Heritage Conservation District Plan for Werden's Plan Neighbourhood, Whitby, Volume One* (Goldsmith Borgal & Company Ltd. et al., 2017)
- *Cultural Heritage Impact Assessment Report for 500 Dundas Street East, Town of Whitby, RM of Durham, Ontario* (This Land Archaeology Inc., 2018)

A full list of references consulted can be found in Section 13.0 of this document.

2.3.2 Research Limitations

Site access presented a research limitation, as the subject properties were only visible from the publicly accessible rights-of-way along Dundas Street, Centre Street South, Pine Street, and Reynolds Street. PTE was not granted at the time of reporting, so only an assessment of the exterior of the structures and property visible from the public right-of-way was conducted.

3.0 HERITAGE RECOGNITIONS

3.1 Municipal

The properties at 425 Dundas Street East and 528 Dundas Street East are listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c).

The property at 207 Dundas Street West is not listed as a heritage property or designated under Part IV or V of the *Ontario Heritage Act* by the Town of Whitby. The building was identified by heritage staff to



potentially be added to the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c)¹.

3.2 Provincial

The subject properties at 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East are not subject to heritage recognition at the provincial level for the following reasons:

- The subject properties are not Provincial Heritage Properties; and
- The subject properties have not been commemorated by the Ontario Heritage Trust.

3.3 Federal

The subject properties at 207 Dundas Street West, 425 Dundas Street East, and 528 Dundas Street East are not subject to heritage recognition at the federal level for the following reasons:

- The subject properties do not contain a Federal Heritage Building; and
- The subject properties do not contain a National Historic Site.

4.0 ADJACENT LANDS

The property at 207 Dundas Street West is adjacent to the Werden's Plan Heritage Conservation District (HCD) (Figure 2), which is designated under Part V of the *Ontario Heritage Act* (By-law # 7297-17). Within the HCD, the subject property is adjacent to 109 Centre Street South, 214 Centre Street South, and 200 Colbone Street West; all classified as historic within the Town of Whitby's *Municipal Heritage Register – Inventory of Part V Designated Properties – Werden's Plan Neighbourhood Heritage Conservation District* (Town of Whitby, 2020b).

Also in the vicinity of the property at 207 Dundas Street West is the proposed Perry's Plan Neighbourhood HCD with its southern border at Dundas Street West and Centre Street North and the proposed Four Corners Commercial HCD which has its western boundary along Byron Street North.

¹ This information was received through municipal feedback on the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021).



Werden's Plan Heritage Conservation District Location Sketch

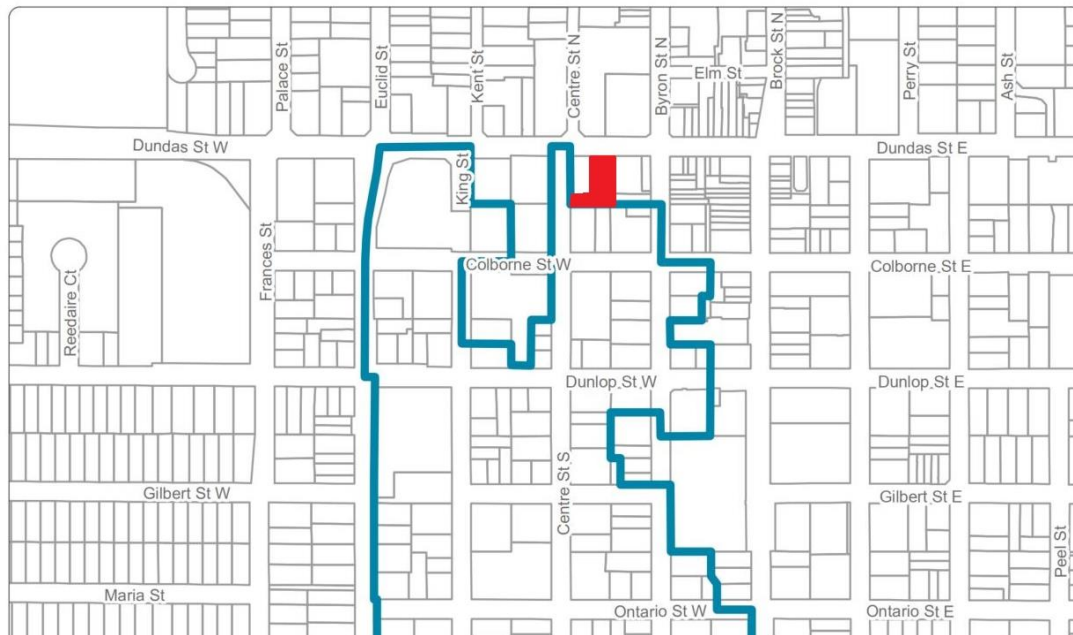


Figure 2: Location of the 207 Dundas Street West (in red added by ASI) with the outline of the Werden's Plan HCD in blue (Town of Whitby, 2020b)

The properties at 425 Dundas Street East and 528 Dundas Street East are not adjacent to any protected heritage properties, including those listed by the Town of Whitby or designated under Part IV or Part V of the *Ontario Heritage Act*.

5.0 SUMMARY OF ARCHAEOLOGICAL ASSESSMENTS

The *Stage 1 Archaeological Assessment - Durham-Scarborough Bus Rapid Transit Project (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; City of Oshawa; and Town of Ajax; Town of Whitby, Ontario – Existing Conditions* (ASI, 2019) was completed in October 2019. The *Stage 1 Archaeological Assessment Durham-Scarborough Bus Rapid Transit Project Various Lots and Concessions, (Former Townships of Scarborough, Pickering and Whitby) City of Toronto; City of Pickering; Town of Ajax; Town of Whitby; and City of Oshawa, Ontario* (ASI, 2022) was completed in March 2022.

According to the above-noted Stage 1 report (ASI, 2022), the subject properties were found to be disturbed with no potential. These findings are only for the portion of the subject properties which are covered by the Project Study Area and are not an evaluation of the entire property parcel.

More detailed information about archaeological potential in the study area can be found in the above reports.

6.0 SUMMARY OF COMMUNITY ENGAGEMENT

6.1 Relevant Agencies/Stakeholders

As part of the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment* (ASI, 2021), stakeholder groups were contacted to collect information relating to this project. Heritage staff at the Town of Whitby and relevant agencies were contacted through email in October and November 2019, to confirm the presence of previously identified cultural heritage resources in the study area, and to inquire if there are any ‘in progress’ Part IV or Municipal Heritage Register properties in the study area. Heritage staff at the Town of Whitby were also contacted in November and December 2021 as part of this CHER to request information relating to the subject properties. See Table 1 for a list of organizations contacted and a description of information received.

Table 1: Results of Agency Data Collection

| Contact Name/ Position | Organiza- tion | Contact Information | Date(s) of Communications | Description of Information Received |
|--|---|--|---|---|
| Stacey Kursikowski Planner II, Heritage | Town of Whitby | kursikowski.s@whitby.ca | October and November 2019; August and September 2020 | Provided PDF files regarding heritage properties and information regarding one designated Heritage Conservation District and two potential Heritage Conservation Districts. |
| Lori Tesolin, Supervisor, Policy and Heritage and Principal Planner | Town of Whitby | tesolinl@whitby.ca | November and December 2021 | Request was submitted for background research and any reporting or other information on 425 Dundas Street East and 528 Dundas Street East as they are listed properties. Also requested was any additional local community or heritage groups that would have an interest in this project. A response was received with information regarding the chain of ownership for this property and history of some of the previous owners associated with 528 Dundas Street East. |
| Gary Muller Director of Planning | Regional Municipal ity of Durham | Gary.muller@durham.ca | September 2019 | Response confirmed that within Durham Region, heritage recognition is of municipal expertise. |
| Karla Barboza Team Lead, Heritage | MHSTCI | Karla.Barboza@ontario.ca | September 2019; 20 and 25 May 2020; and 01 June 2020 | Response confirmed that none of the subject properties are provincial heritage properties or adjacent to provincial heritage properties. |
| Kevin De Mille Heritage Planner | Ontario Heritage Trust | Kevin.DeMille@heritagetrust.on.ca | September 2019 | Confirmed that none of the subject properties nor adjacent properties are Trust-owned or subject to OHT conservation easements. |
| Sarah Ferencz Archivist | Archives at Whitby | archives@whitbylibrary.ca | November 2021 | Requested information on the subject properties, including information on the historic ownership of the properties, and any |



| | | | | |
|--|----------------|--|--|---|
| | Public Library | | | photographs that the Archives may have. Family papers for the Bandel family, the Scott family, and the Burns family were provided. An additional request was submitted for information on Frederick Burns' mayorship, and information provided confirmed he was Mayor in 1922 and 1925. |
|--|----------------|--|--|---|

6.2 Public Meetings/Public Consultation

This CHER will be made available for public review following the TPAP Notice of Completion in accordance with *Ontario Regulation 231/08*. Consultation with the public regarding the cultural heritage component of the DSBRT project has been undertaken during a series of Public Information Centres (PICs): PIC #2 in November 2019; PIC #3 in September 2020; and PIC #4 in October 2021. Specific design plans pertinent to these properties were presented at PIC #3 and PIC #4.

6.3 Agency Review

The draft CHER was submitted to the Town of Whitby, the Metrolinx Heritage Committee and the MHSTCI for review and comment. Feedback was received in December 2021 and January 2022 and incorporated into the CHER. The Whitby Heritage Advisory Committee will have an opportunity to review and comment during the public review period following the TPAP Notice of Completion, and any feedback received will be considered and incorporated as required.

6.4 Indigenous Nations Engagement

The draft CHER was submitted in January 2022 to the following Indigenous Nations: Alderville First Nation; Beausoleil First Nation; Chippewas of Georgina Island; Chippewas of Rama First Nation; Curve Lake First Nation; Hiawatha First Nation; Huron-Wendat Nation; Kawartha Nishnawbe First Nation; Mississaugas of the Credit First Nation; and Mississaugas of Scugog Island First Nation. Any feedback received has been incorporated into the CHER.

7.0 DISCUSSION OF HISTORICAL OR ASSOCIATIVE VALUE

This section provides a brief summary of historical research. A review of available primary and secondary source material was undertaken to produce a contextual overview of the study area, including a general description of Indigenous land use, and Euro-Canadian settlement.



7.1 Indigenous Peoples and Settlement

Southern Ontario has been occupied by human populations since the retreat of the Laurentide glacier approximately 13,000 years ago, or 11,000 Before the Common Era (B.C.E.) (Ferris, 2013).² During the Paleo period (c. 11,000 B.C.E. to 9,000 B.C.E.), groups tended to be small, nomadic, and non-stratified. The population relied on hunting, fishing, and gathering for sustenance, though their lives went far beyond subsistence strategies to include cultural practices including but not limited to art and astronomy. Fluted points, beaked scrapers, and gravers are among the most important artifacts to have been found at various sites throughout southern Ontario, and particularly along the shorelines of former glacial lakes. Given the low regional population levels at this time, evidence concerning Paleo-Indian period groups is very limited (Ellis & Deller, 1990).

Moving into the Archaic period (c. 9,000 B.C.E. to 1,000 B.C.E.), many of the same roles and responsibilities continued as they had for millennia, with groups generally remaining small, nomadic, and non-hierarchical. The seasons dictated the size of groups (with a general tendency to congregate in the spring/summer and disperse in the fall/winter), as well as their various sustenance activities, including fishing, foraging, trapping, and food storage and preparation. There were extensive trade networks which involved the exchange of both raw materials and finished objects such as polished or ground stone tools, beads, and notched or stemmed projectile points. Furthermore, mortuary ceremonialism was evident, meaning that there were burial practices and traditions associated with a group member's death (Ellis et al., 2009; Ellis & Deller, 1990).

The Woodland period (c. 1,000 B.C.E. to 1650 C.E.) saw several trends and aspects of life remain consistent with previous generations. Among the more notable changes, however, was the introduction of pottery, the establishment of larger occupations and territorial settlements, incipient horticulture, more stratified societies, and more elaborate burials. Later in this period, settlement patterns, foods, and the socio-political system continued to change. A major shift to agriculture occurred in some regions, and the ability to grow vegetables and legumes such as corn, beans, and squash ensured long-term settlement occupation and less dependence upon hunting and fishing. This development contributed to population growth as well as the emergence of permanent villages and special purpose sites supporting those villages. Furthermore, the socio-political system shifted from one which was strongly kinship based to one that involved tribal differentiation as well as political alliances across and between regions (Birch & Williamson, 2013; Dodd et al., 1990; Ellis & Deller, 1990; Williamson, 1990).

The arrival of European trade goods in the sixteenth century, Europeans themselves in the seventeenth century, and increasing settlement efforts in the eighteenth century all significantly impacted traditional ways of life in Southern Ontario. Over time, war, disease and colonization efforts, contributed to death, dispersion, and displacement of many Indigenous peoples across the region. The Euro-Canadian population grew in both numbers and power through the eighteenth and nineteenth centuries. In many areas, Treaties between colonial administrators and First Nations representatives began to be initiated. Additional colonization practices began, such as the establishment of the *Indian Act* (1876), forced relocation to reserve lands and Indian Residential Schools began. These practices caused irreparable harm and devastation to the fabric of Indigenous society, ways of life and cultural practices.

² While many types of information can inform the precontact settlement of Ontario, such as oral traditions and histories, this summary provides information drawn from archaeological research conducted in southern Ontario over the last century.



The Project Study Area is within the Johnson-Butler Purchases and within the traditional territory of the Michi Saagiig and Chippewa Nations, collectively known as the Williams Treaties First Nations, including the Mississaugas of Alderville First Nation, Curve Lake First Nation, Hiawatha First Nation, Mississaugas of Scugog Island First Nation, Beausoleil First Nation, Chippewas of Georgina Island First Nation and the Chippewas of Rama First Nation (Williams Treaties First Nations, 2017).

The purpose of the Johnson-Butler Purchases of 1787/1788 was to acquire, from the Mississaugas, the Carrying Place Trail and lands along the north shore of Lake Ontario from the Trent River to Etobicoke Creek.

As part of the Johnson-Butler Purchases, the British Crown signed a treaty, sometimes referred to as the “Gunshot Treaty” with the Mississaugas in 1787 covering the north shore of Lake Ontario, beginning at the eastern boundary of the Toronto Purchase (Treaty 13, 1805), and continuing east to the Bay of Quinte, where it meets the Crawford Purchase (1783). It was referred to as the “Gunshot Treaty” because it purportedly covered the land as far back from the lake as a person could hear a gunshot. Compensation for the land apparently included “approximately £2,000 and goods such as muskets, ammunition, tobacco, laced hats and enough red cloth for 12 coats” (Surtees, 1984, pp. 37–45). First discussions about acquiring this land are said to have come about while the land ceded in the Toronto Purchase of 1787 was being surveyed and paid for (Surtees, 1984, pp. 37–45). During this meeting with the Mississaugas, Sir John Johnson and Colonel John Butler proposed the purchase of lands east of the Toronto Purchase (Fullerton & Mississaugas of the Credit First Nation, 2015). However, descriptions of the treaty differ between the British and Mississaugas, including the depth of the boundaries: “Rice Lake and Lake Simcoe, located about 13 miles and 48 miles north of Lake Ontario, respectively, were not mentioned as landmarks in the First Nations’ description of the lands to be ceded. Additionally, original descriptions provided by the Chiefs of Rice Lake indicate a maximum depth of ten miles, versus an average of 15-16 miles in Colonel Butler’s description” (Fullerton & Mississaugas of the Credit First Nation, 2015).

However, records of the acquisition were not clear regarding the extent of lands agreed upon (Surtees, 1984, pp. 37–45). To clarify this, in October and November of 1923, the governments of Canada and Ontario, chaired by A.S. Williams, signed treaties (Williams Treaties 1923) with the Chippewa and Michi Saagiig for three large tracts of land in central Ontario and the northern shore of Lake Ontario, one of the last substantial portions of land in southern Ontario that had not yet been covered by Treaty (Crown-Indigenous Relations and Northern Affairs, 2013).

In 2018 the Government of Canada reached a settlement with the Williams Treaties First Nations, re-establishing Treaty harvesting rights in the Williams Treaties territories of each of the seven nations.

The Project Study Area is also within the active Rouge River Valley Tract Claim, filed in 2015 by MCFN (Fullerton & Mississaugas of the Credit First Nation, 2015). The Rouge River Valley Tract Claim pertains to the southern portion of the Rouge River Valley watershed, east of the eastern limit of Treaty 13, the Toronto Purchase, extending from the source of the Rouge River in the north to the shore of Lake Ontario in the South. The 1788 Gunshot Treaty included the land encompassed by the Rouge River Valley Tract, however this treaty is considered invalid by the Mississaugas of the Credit First Nation due to an absence of sufficient supporting documentation (Fullerton and Mississaugas of the Credit First Nation 2015).



The land at the mouth of the Rouge River was included in a list of un-surrendered lands submitted to the Crown by Mississaugas of the Credit Chiefs Joseph Sawyer and Peter Jones in 1847. In 1894 a delegation was sent to Ottawa to further pursue these claims, but matter of the land east of the Toronto Purchase remained unresolved (Fullerton and Mississaugas of the Credit First Nation 2015).

Although the Rouge River Valley Tract was included in the Williams Treaty of 1923, the Mississaugas of the Credit were not signatories to the Williams Treaty and claim unextinguished title to their traditional territories within the southern part of the Rouge River Valley (Fullerton & Mississaugas of the Credit First Nation, 2015; Mississaugas of the Credit First Nation, 2018).

Additional oral history from CLFN and HWN is included in Appendix A.

7.2 Euro-Canadian Settlement History

The first Europeans to arrive in the area were transient merchants and traders from France and England, who followed existing transit routes established by Indigenous peoples and set up trading posts at strategic locations along the well-traveled river routes. All of these occupations occurred at sites that afforded both natural landfalls and convenient access, by means of the various waterways and overland trails, into the hinterlands. Early transportation routes followed existing Indigenous trails, both along the lakeshore and adjacent to various creeks and rivers (ASI 2006). Early European settlements occupied similar locations as Indigenous settlements as they were generally accessible by trail or water routes, and would have been in locations with good soil and suitable topography to ensure adequate drainage.

Historically, each of the three properties were located in the Township of Whitby in Ontario County, later Durham County and now the Region of Durham. Each one was located on Dundas Street, an early and important transportation route connecting much of southern Ontario. 207 Dundas Street West was on Lot 27, Concession I within the village and later town of Whitby; 425 Dundas Street East was on Lot 25, Concession I, just east of the village and later town of Whitby; and 528 Dundas Street East was on Lot 25, Concession II, just east of the village and later town of Whitby.

7.2.1 Township of Whitby

Whitby Township, when first laid out in the 1790s, was designated Township 9 although the name was changed shortly thereafter to Norwich. The first survey of this township was made in 1791 and the first settler arrived in 1794 (Armstrong, 1985). The first settler was said to have been Benjamin Wilson, a Loyalist from Vermont, who settled along the lakeshore east of Oshawa (Farewell, 1907). Whitby was quickly settled by a mixture of Loyalists, disbanded troops, and emigrants from the United States, the United Kingdom, and Ireland. Two major settlements, Whitby and Oshawa, were soon established in the southern half of the township. These communities were advantageously located where watersheds (such as that of Lynde Creek) were crossed by the Kingston Road. Whitby further benefited from its harbour and from the construction of the Grand Trunk Railway in the 1850s.

In 1852, Whitby Township became part of Ontario County. The township was divided in 1857, with the western portion remaining as Whitby Township and the eastern portion extending from a line between Whitby and Oshawa north to Durham County becoming the township of East Whitby (Hood, 1978).



Throughout the next century, development occurred slowly, and the area remained in a large part agricultural. On January 1, 1968 the Township was made into a Town, and on January 1, 1974, the Town of Whitby became part of the Regional Municipality of Durham (Mika & Mika, 1983).

7.2.2 Town of Whitby

This town was established on part of Lots 24 to 29 in the Broken Front, and part of Lots 22 to 31 in Concessions 1 and 2 of Whitby Township. A post office was opened here as early as 1823. The first settlers were Jabez Lynde and Samuel Cochrane in 1804. In 1835, the community was known as Hamer's Corners, named after merchant John Hamer. The harbour was utilized and improved during the 1830s, at which time it was known as Windsor Bay or Windsor Harbour. During the 1840s and 1850s, the north part of the community was known as Perry's Corners, named in honour of a leading citizen, Peter Perry. Due to confusion with the town of Windsor in the Western District of the province, the name of this town was officially changed to Whitby, which was a seaside resort in Yorkshire. Whitby achieved town status in 1855 and became the seat for Ontario County in 1852. The town grew somewhat following the construction of the Grand Trunk Railway in 1856. The town is also known as the site for an institute for the mentally ill which was opened here in 1913 (MacKay, 1851; Mika & Mika, 1983; Smith, 1851).

7.3 Dundas Street

Dundas Street in Whitby is part of a long transportation corridor that goes by different names depending on one's location, including Kingston Road, Danforth Road, Highway 2, Dundas Street, King Street, and Bond Street. Its origins began in 1798 when the government at the time hired Asa Danforth to construct a road from York (Toronto) to Kingston. This important transportation corridor was intended to provide an overland military route between Lake Ontario, Lake Saint Clair, and Lake Huron. The road was intended to serve a dual purpose – to support settlement in Upper Canada and to deter expansionist American interests. Work on the road commenced in 1793, but the rocky and heavily treed landscape made progress slow and the route was still barely passable when Simcoe returned to England in 1796 (Byers & McBurney, 1982). Eventually, however, Dundas Street served the purpose of supporting settlement in southern Ontario once the colonial government purchased new lands adjacent to it.

In 1799 a portion of the route from Toronto to Port Hope was completed. The original road was no more than a muddy horse path before it was macadamized – meaning compacted crushed stone and gravel was laid down – in the mid-1800s. The final route between Windsor and the Quebec border was 837 kilometres long. Highway 2 was part of the first 73.5 kilometre stretch to be maintained by the provincial Department of Highways in 1917 and remained an important east-west route for the movement of goods and people between Toronto and Quebec until it was eclipsed by the construction of Highway 401 (Ontario Ministry of Transportation and Communications, 1984). The route was no longer deemed a provincial highway in 1998.

The two images below (Figure 3 and Figure 4) show Dundas Street in Whitby in 1919 and c. 1961. The former shows the urban context of the downtown core, but with agricultural fields and trees to the west. 207 Dundas Street West is visible in both photographs. 425 Dundas Street East and 528 Dundas



Street East are visible in Figure 4. The latter shows the increasing suburban residential development context around Dundas Street in Whitby.

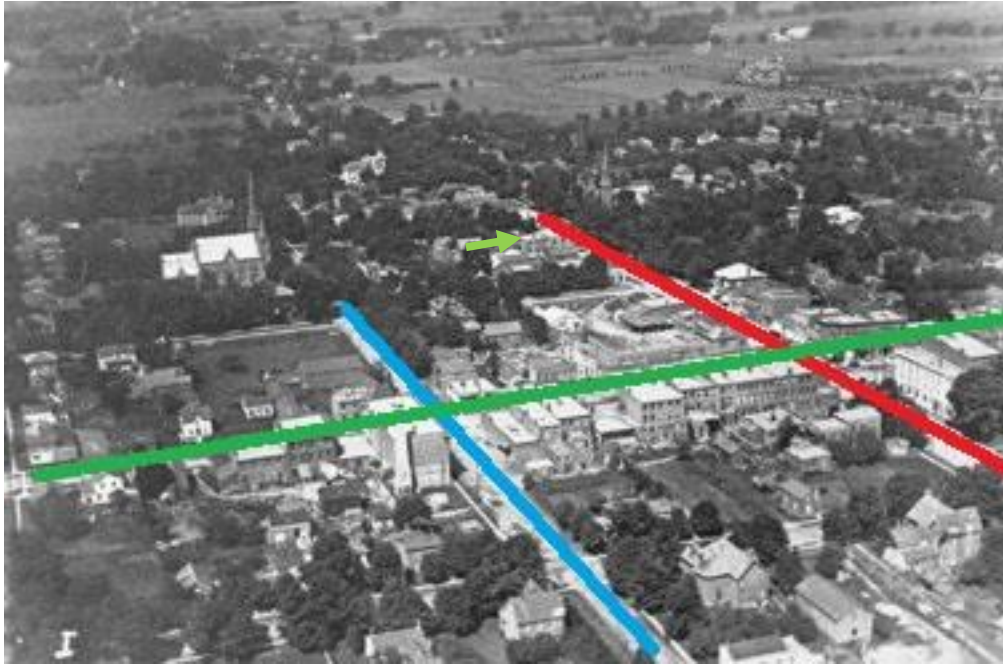


Figure 3: Aerial view of Whitby, looking west, in 1919, with overlays of Dundas Street in red, Brock Street in green, and Colborne Street in blue (Emphasis added by ASI) (Whitby Public Library, n.d.). The green arrow is indicating the location of 207 Dundas Street West (also added by ASI).



Figure 4: Aerial view of Dundas Street through Whitby, looking east from Euclid Street, c. 1961 (Whitby Public Library, n.d.). The green arrow is indicating the location of 207 Dundas Street West, the orange arrow is indicating the approximate location of 425 Dundas Street East, and the yellow arrow is indicating the approximate location of 528 Dundas Street East (arrows added by ASI).

7.4 Historical Chronology and Setting

The following provides a brief overview of the historical chronology of the area surrounding the three subject properties. It includes a history of the people who lived on or owned these properties, as provided in available sources as well as a mapping review. It is based on a variety of primary and secondary source materials, including maps, census data, abstract indexes, archival images, and historic photographs.

The 1860 *Tremaine's Map of the County of Ontario* (Tremaine, 1860) and the 1877 *Illustrated Historical Atlas of the County of Ontario* (Miles & Co., 1877) were reviewed to determine the historical setting of the subject properties in the nineteenth century (Figure 14 and Figure 15). It should be noted, however, that not all features of interest were mapped systematically in the Ontario series of historical atlases, given that they were financed by subscription, and subscribers were given preference regarding the level of detail provided on the maps. Moreover, not every feature of interest would have been within the scope of the atlases.

Furthermore, maps and aerial photographs from 1930 (Figure 16), 1934, (Figure 17), 1954 (Figure 18), 1976 (Figure 19), and 2021 (Figure 20) were reviewed to determine the historical setting of the subject property in the twentieth and twenty-first centuries.

7.4.1 207 Dundas Street West

207 Dundas Street West is located on the former Lot 27, Concession I, Whitby Township. More specifically, it is located on Lot 10, first Double Range, West of Brock Street, on Plan H-50032. The crown patent for Lot 27 went to John Scadding in 1802. In 1820, Scadding sold the north half of Lot 27 to Joseph Losie who in turn sold part of that property to Asa Werden in 1822 (OLRA, n.d.b). Werden (1799-1866) was born in the United States but came to Canada in the early nineteenth century. He was a Member of Parliament for Prince Edward County, a director of the agricultural society, chairman of a temperance society, and owner of a tannery and mill in that area. He was able to purchase tracts of land in Prince Edward County as well as in Ontario County, though he never lived in the Whitby area. Nevertheless, he left his mark on the community through the subdivision of his property into quarter-acre lots as part of Werden's Plan which was developed in the 1840s though not officially registered until 1854 (Winter, 1999).

Werden sold Lots 9 and 10 of his plan to Joseph Bowerman in 1842. In 1846, Bowerman sold the ¼ acre Lot 10 to William Jenkins, who in turn sold it the same day to Alexander McPherson. According to the 1851 census (Library and Archives Canada, 1851), McPherson was the Post Master in Whitby. He was born in Scotland, Presbyterian in faith, and 49 years old. He was married to Fanny, aged 33, and they had six children and one labourer living with them in a two-storey frame house. The precise address is unknown, though it was within lands in the Town of Whitby. Following his death in 1862, he left the property in his will to his sons James, Andrew, and William McPherson (OLRA, n.d.b). While the Town of Whitby was laid out and the downtown was being developed (Figure 14) it is unknown if any structure was erected on the site throughout the McPherson family's ownership. It is doubtful, though, given the low value of the sale of the property by William McPherson to Joseph F. Rainer, a piano maker of Austrian background, in 1871 (Library and Archives Canada, 1871). Rainer then sold the property to Eliza Hamlin in 1872, and she sold to John Greenwood in 1874. Later that year, Greenwood sold the property to Joseph Bandel (OLRA, n.d.b).

Joseph Bandel (1826-1896) and his wife Mary (1833-1914) were born in Germany and the former emigrated to Canada in 1852 (Whitby Chronicle, 1896) and the latter in 1853 (The Gazette and Chronicle, 1914). They were married in Toronto in 1854 and moved to Whitby in 1858. The couple had a large family, and Joseph opened a boot and shoe store in Whitby which he operated til the mid-to-late 1860s when he became involved in the hotel business (Whitby Chronicle, 1896; Winter, 1999). Several hotels had emerged in the community around this time, with nine in operation by Confederation in 1867 (Winter, 1999). The 1871 census (Library and Archives Canada, 1871) notes that Joseph was married to Mary, aged 38, and the couple had seven children. Joseph was identified as both a shoemaker and innkeeper and his inn was called the Western House (Winter, 1999).

After purchasing the subject property, Bandel erected a hotel called the Whitby House, though it burned down in 1879 (Winter, 1999). The subject structure was erected in 1880 and took the same name. It was designed by architect Hiram R. Barber of Oshawa. Barber (1843-1914) was an active architect in the Oshawa area by the early 1870s. Amongst his major works in Ontario County include the Machine Made Hat Company factory in Oshawa (1872), the Wilson Block along King Street in Oshawa (1872), a residence for John A. Gibson in Oshawa (1873), the Union School in East Whitby (1873), the Port Perry Town Hall and Port Perry High School (1873-74), Centre Street Methodist Church in Oshawa (1874-75), and the Lakeview Residence for John Rice in Whitby (1875). He moved to Toronto in the 1880s and



completed numerous commissions for schools, churches, and residences amongst others (Biographical Dictionary of Architects in Canada, n.d.).

The Whitby House was a popular hotel for members of the Ontario County Council, who travelled to Whitby, and the County Town, for biannual meetings (The Gazette and Chronicle, 1914; Winter, 1999). The hotel was owned and operated by members of the Bandel family from 1880 til 1948 (Figure 5) (Whitby Public Library, n.d.). The 1881 census (Library and Archives Canada, 1881) and 1891 census (Library and Archives Canada, 1891) identify Joseph Bandel as a Hotel Keeper. The hotel, in which he and his family lived, was listed as a two-storey brick building with 25 rooms in 1891.



Figure 5: Bandel family, c. 1880 (Whitby Public Library, n.d.)

Joseph Bandel died in 1896 and his funeral attracted one of the largest gatherings that Whitby had seen for many years (Whitby Chronicle, 1896). Thereafter, his wife Mary took over operations of the Whitby House Hotel. The 1901 census (Library and Archives Canada, 1901) has her listed as the Hotel Keeper, and has two sons and a daughter living with her, in addition to six boarders and one Domestic servant. When Mary Bandel died in 1914, it was said that, given her role as hostess of the Whitby House, she was “known all over the County of Ontario” and “known far and wide throughout the district” (The Gazette and Chronicle, 1914). The property and hotel was left to her son Anton Bandel. He then sold the hotel to his brother Louis S. Bandel in 1921 (OLRA, n.d.b). He remained the proprietor of the hotel until his death in 1932, and according to newspaper accounts following his death, he was “one of the best known hotel keepers between Toronto and Belleville, and always operated a first class house” (The Gazette and Chronicle, 1932). The 1930 topographic map (Figure 16) and 1934 Fire Insurance Plan (Figure 17) shows the subject building extant along a busy stretch of Dundas Street West. Louis Bandel’s wife Mabel continued to operate the hotel until 1943, when it was taken over by her two children Louis and Mary, who operated it til 1948 (The Daily Times-Gazette, 1948).

Figure 6 to Figure 9 show the hotel as it appeared in the first half of the twentieth century. Note that the original structure featured a dichromatic brick exterior, brick window hoods, a roofline with corbelled brick detailing and decorative ornaments, central triangular parapet, and a central doorway as well as a

smaller door on the east end of the front façade, facing onto Dundas Street. A small balcony over the main doorway appears to have been added on between 1906 and 1923, and was changed to a drive through portico c. 1936 and which was removed c. 1960 (Whitby Public Library, n.d.). Further renovations occurred by 1945, by which time the bricks appear to have been painted.



Figure 6: Whitby House Hotel, 1906 (Whitby Public Library, n.d.)



Figure 7: Whitby House Hotel, c. 1923 (Whitby Public Library, n.d.)



Figure 8: Whitby House Hotel, c. 1936 (Whitby Public Library, n.d.)



Figure 9: Whitby House Hotel, 1945 (Whitby Public Library, n.d.)

After 68 years of successive ownership, members of the Bandel family sold the property, including the subject structure, to the Alliance Hotel Company Ltd. in 1948 (OLRA, n.d.b). By that time, it was known as “one of Whitby’s most famous landmarks and well known in hotel circles in the province” and “has long been considered the “elite” of hotels in Whitby since its construction in 1880 (The Daily Times-Gazette, 1948). At the announcement of its sale, the new owners noted that they planned to expand the hotel given their expectation that the town itself would be growing.

The building continued to be found along a busy stretch of Dundas Street West throughout the second half of the twentieth century (Figure 18 and Figure 19). It functioned as the Whitby Hotel until 1982, and included a coffee shop and entertainment facilities. The building was stuccoed in the 1960s (Winter, 1999).

In 1979, the Alliance Hotel Company Ltd. granted the land to NXM Investments. They were the owners when some construction was done c. 1983 based on entries in the Register book (OLRA, n.d.b). In 1983, the subject building changed from the Whitby Hotel to Dixies Road House (Vernon Directories Ltd., 1983). The following year, the name changed again to Cokee Joe's Roadhouse Tavern (Vernon Directories Ltd., 1984).

In 1986, NXM Investments Ltd. granted the land to Ots Commercial Corporation and 691477 Ontario Inc. who then granted the property to Davelore Enterprises Ltd. in 1987 (OLRA, n.d.b). Significant alterations occurred in the mid-1990s, including the gutting of the interior, the removal of the main floor curved windows and replacement with two large garage-door style windows, removal of the decorative parapet, new decorative quoining, and new window surrounds. Since the late 1980s, the building has been home to a number of enterprises, including the Late Night Café, Boppers, Field House Sports Pub, and Pizza Nova.

7.4.2 425 Dundas Street East

425 Dundas Street East is located on the former Lot 25, Concession I, Whitby Township. The crown patent for this lot was allocated to Sophia Kent et al in 1840. They sold the west half of the lot the following year to Israel Marsh (OLRA, n.d.c). Marsh sold off various one-acre lots over the following few years. The Abstract/Parcel Register Book for the period from the late-1840s to the early-1850s is illegible, but would seem to indicate many land sales on Lot 25 at this time, including some to Robert E. Perry, a businessman, landowner, and the eldest son of Peter Perry, Whitby's founder (Whitby Public Library, n.d.).

In 1852, William Burns purchased the subject property from Robert Perry (OLRA, n.d.c). It is unknown if he lived on the site following the purchase. If so, though, it would have been in a building that predates the subject structure. Under William Burns' ownership, the subject house was erected in 1859 (Whitby Public Library, n.d.), and at this time was located just east of the Town of Whitby's downtown developments (Figure 14). Burns was born in England in 1827 and arrived in Canada in 1842 (Library and Archives Canada, 1901). By the time of his purchase of the subject property, he was a Whitby-based shoemaker. He later became a merchant who specialized in the making and selling of boots and shoes (Farewell, 1907). He was regularly described as a shoemaker in nineteenth-century census records.

Burns and members of his family lived in the subject residence from its construction in 1859 through to the mid-1930s. The 1861 census (Library and Archives Canada, 1861) identifies Burns as a 31-year-old shoemaker, born in England, and a member of the F.C. Church. He lived with his 26-year-old wife Charlotte and their four children, as well as a 22-year-old servant and a 62-year-old widowed woman named Grace Fisher. They all lived together in the subject residence, identified as a two-storey brick house.



The 1871 census (Library and Archives Canada, 1871) lists William and Charlotte Burns occupying the residence with six children between the ages of one and 20, all of whom were members of the Congregational Church. William continued to be identified as a shoemaker. The 1877 map (Figure 15) shows the subject residence as being part of a larger-than-average property for Whitby at this time, and still located on the eastern margins of the town core. The 1881 census (Library and Archives Canada, 1881) lists William Burns as 53, living with his wife Charlotte, 48, and seven children in the subject residence. The household also included Grace Fisher, now 85 years old, who had previously lived with the family according to the 1861 census but who was not identified on the 1871 census. The 1891 census (Library and Archives Canada, 1891) continues to show the Burns occupying the subject residence, listed as a two-storey brick house with 12 rooms. William and Charlotte Burns now had three daughters and two sons living with them. All family members now identified as Methodists. Two children are listed as public school teachers, one as a shoemaker, and two have nothing identified. William Burns' shoe business employed an average of two people over the course of the preceding year.

The 1901 census (Library and Archives Canada, 1901) lists William Burns as a 73-year-old widow, but still active as a merchant. He was living with two daughters and two sons. The 1911 census (Library and Archives Canada, 1911) shows that William's son Frederick (39), a merchant, was now the head of the household. William, now 84, still lived in the residence, as did Frederick's two sisters Jemima (61) and Annie (56). William Burns' death certificate notes that he died of "Infirmities of old age" after a "gradual decline" at the age of 86 in 1914 (Town of Whitby, 1914). The certificate also notes that he was a widower and a retired merchant who was living on Dundas Street in Whitby.

Frederick Napier Burns inherited the house following his father's death. Frederick Burns was one of Whitby's "best known business men" who operated a shoe business and later as the owner of Burns' Cash Grocery. He also built and owned a local skating and curling rink and was a prominent member of the United Church Tabernacle. Moreover, Burns was active in civic affairs, and served the town as Mayor in 1922 and 1925, and was a member of the Public Utility Commission (Oshawa Daily Times, 1932; The Evening Telegram, 1932; The Toronto Daily Star, 1932).

The property is visible on the 1930 topographic map (Figure 16) and shows plenty of residential development to the north. To the east of the property is a tree-lined dirt path (now Reynolds Street) leading to the Ladies College and which is also visible in a c. 1924 photograph, below (Figure 10).





Figure 10: Reynolds Street, c. 1924 (Whitby Public Library, n.d.)

Frederick Burns was single throughout his life and died in 1932 (Province of Ontario, 1932). The Town Hall's flag was lowered to half mast in honour of his contributions to the community (Oshawa Daily Times, 1932). Frederick's sister Hettie, as well as Hettie's son Donald, acting as executors of Frederick's estate, issued a Quit Claim on the property in 1934 and the subject property transferred to William A. Watson (OLRA, n.d.c). The residence was purchased by Evelyn Moorby in 1940 and she lived there for the following 28 years.

Evelyn Moorby sold the residence to Gascoigne Holdings Ltd. in 1968. It is most likely that they owned the building but rented it out to tenants. The 1970 directory shows the occupants as Michael Wood and Mrs. S. Madden (Vernon Directories Ltd., 1970). The 1974 directory lists James M. MacKay as the occupant, perhaps connected with the neighbouring MacKay Animal Clinic at 421 Dundas Street East (Vernon Directories Ltd., 1974).

Figure 11 to Figure 13 show the subject residence around this time. The house was surrounded by several mature trees on the east, west, and south sides. A pathway is visible on the east side of the house and a small garage, shed, or outbuilding is visible on the rear west side. A large extension on the house's south side is visible, though its construction date remains unknown.



Figure 11: 425 Dundas Street East, c. 1970, looking southwest (Whitby Public Library, n.d.)



Figure 12: 425 Dundas Street East, c. 1970, looking south (Whitby Public Library, n.d.)



Figure 13: 425 Dundas Street East, c. 1970, looking west from Reynolds Street (Whitby Public Library, n.d.)

At some point between 1968 and 1977, Bernard Strong came to own the subject residence. He sold it to Donald and Frances Castle in 1977. They then sold it to Lyn Roszell in 1979. She married soon thereafter, and became Lyn Baughman (OLRA, n.d.c). The 1980 directory notes that the occupant of the residence was F. Bauhman, likely Lyn's husband (Vernon Directories Ltd., 1980). The home remained in her name, though, and she granted the land to Edward Pryzbylski in 1983. Pryzbylski then sold it to Robert and Bonnie Parkinson in 1985. They then arranged a lease of the property to Key Laundry Systems Ltd. and a construction lien to Weatherall Plumbing and Heating later that year (OLRA, n.d.c). These ventures were likely connected to construction of a major addition on the east side of the residence, which the Whitby Archives notes occurred in 1987 (Whitby Public Library, n.d.).

Under the Parkinsons' ownership, the subject residence was converted into Pugsley Manor, a home for a diverse array of people who needed psychiatric care, including former patients of the Whitby Psychiatric Hospital. It also served as a refuge for battered women and children and others in dire circumstances who needed emergency housing. Social workers, doctors, the Victorian Order of Nurses, probation officers, psychiatrists, and groups offering social programs all visited the facility regularly. It was "the first boarding and lodging home to be licensed in Whitby" when it opened in May 1985 (Barriault, 1987). The Parkinsons also operated other similar boarding/lodging houses for vulnerable peoples and had done so for more than a decade. They attempted to instill a home-like atmosphere rather than an institutional one, with a lounge, pool tables, television, and formal dining room. However, rules were required, and supervision was provided 24 hours per day (Barriault, 1987).

The Parkinsons granted the land to John Baboolipsing Daramsing in 1987 and Daramsing sold the property to Merlyn Ledgeister later in 1987. Ledgeister then sold the property to 15 separate interests, though all belonging to the same numbered Ontario company (OLRA, n.d.c). At some point between 1987 and 1993, the name was changed to the Durham Rest Home. In 1993, the house was vacant and the building placed in receivership. Whitby Council restricted the number of residents who could live therein from more than 40 when it had been Pugsley Manor to a maximum of 20 (Kowalski, 1993).

The subject building remained vacant in 1994. It was purchased by the Muslim Welfare Centre of Toronto in 1995. The residence was renamed the Muslim Welfare Home for Needy Women and Children in 1996. Since that time, the site has offered various services to vulnerable women and children. It now provides emergency shelter and food for up to 45 homeless women and children and provides counselling services, medical and legal referrals, and employment outreach opportunities (Muslim Welfare Canada, 2021).

7.4.3 528 Dundas Street East

528 Dundas Street East is located on the former Lot 25, Concession II, Whitby Township. More specifically, it is located on Lot 145, Plan H-50029. The crown patent for Lot 25 went to Eugenia Willcocks in 1800. Large tracts of land were sold over the following 40 years. In 1842, Robert Brash agreed to sell his property, including what now includes the subject property, to Peter Perry, the founder of Whitby. In 1846, Charles Scott purchased Lots 144 and 145 from Perry, who had organized Perry's Plan East (Plan H-50029) around this time.

According to the 1851 census (Library and Archives Canada, 1851), Charles, a shoe maker, was married to Mary Scott, and the couple, along with their five children, lived in a single-storey frame house, likely



on the subject property. By the time of the 1861 census (Library and Archives Canada, 1861), Charles was identified as a butcher and the family is identified as living in a two-storey brick house. This is referring to the subject residence, indicating that it must have been built between 1852 and 1860. The 1871 census (Library and Archives Canada, 1871) notes that Charles Scott owned four lots (Lots 144 and 145 and those immediately behind, namely Lots 150 and 151) totalling 2 1/4 acres. The census indicates that Scott owned one house, one barn or stable, two carriages/sleighs, and two cars/waggon/sleds. Furthermore, he is listed as producing a small amount of potatoes and apples and owning three horses over three years old, one colt/filly, two cows, four sheep, and two pigs.

Mary Scott died in the early 1870s, and Charles Scott remarried a widow named Lydia Pott in 1875. Charles Scott died in 1885, and his widow came to own the subject property. Lydia Pott likely remarried soon thereafter, as the Abstract/Parcel Register Book indicates that a woman named Lydia Windent was issued a Quit Claim for Lot 145 in 1890. Thereafter, the property came into the possession of Elizabeth Scott, the wife of Charles Scott's son Jerome (OLRA, n.d.a).

Elizabeth Scott was born Elizabeth Bate in Egloskerry, Cornwall, England in 1847.³ She emigrated to Canada as a child in 1856 (Library and Archives Canada, 1901) and settled in Bowmanville. She married Jerome Scott (1841-1917) in Renfrew Ontario in 1870 (Ancestry.ca, 1870). It is unknown where they lived prior to their arrival at the subject property in 1890. The 1891 census (Library and Archives Canada, 1891) lists Jerome and Elizabeth Scott living in a two-storey brick residence with nine rooms. Jerome was a 49-year-old Mail Contractor⁴ while Elizabeth, aged 43, had no occupation listed. They had two children living with them in the house: Ethelyn (5) and Edith (3). The family were all Methodists.

The 1901 census (Library and Archives Canada, 1901) provides little differentiation from the 1891 census described above, other than that Jerome is now described as a Mail Carrier. The 1911 census (Library and Archives Canada, 1911) continues to show the Scott family residing on Dundas Street in Whitby. Jerome and Elizabeth Scott's two daughters were now aged 24 and 22 and lived at home. Jerome's profession was again listed as a Mail Contractor and the enumerator noted that his work location was in "Country Roads." However, his obituary noted that he was "acquainted throughout the entire town and district through his business as a nursery-man." Furthermore, the obituary reported that he was "a familiar figure in Whitby" and had been "active in town affairs, having served on the Town Council for several terms" (The Gazette and Chronicle, 1917).

The 1921 census (Libraries and Archives Canada, 1921) indicates that Elizabeth (known as Bessie) Scott continued to live in the subject residence following her husband's death in 1917. She is listed as a 75-year-old widow and as the head of the household. She is also listed as the owner, and that the house is made of brick with eight rooms. Her two daughters and their husbands also resided at this location. Ethelyn, now 35, was married to John E. MacDonald, 52, and Edith, now 33, was married to Samuel Murdoch, age unknown. Edith was listed as a saleslady at a confectionary, John MacDonald as a contractor, and Samuel Murdoch as a baker.

³ Some documents note that her surname was Bate and others have it marked as Bates. Bate is used in this report for consistency.

⁴ Mail contractors emerged in the late nineteenth century when post offices began to try to "meet the increasing need for mail delivery to growing settlements off major transportation routes." Contractors generally "travelled from the main railway arteries and from major urban centres carrying mail to as many people as possible" (Mackenzie, 1979).



Elizabeth Scott owned the house until 1921, when she sold it to her daughter Ethelyn and husband John MacDonald (OLRA, n.d.a). Ethelyn and John married in 1916. At that time, he was a 47-year-old widower and his occupation was “R.R. Construction Work” while she was a 32-year-old Milliner (Ancestry.ca, 1916). The MacDonalds arranged a mortgage with Mathias W. Collins in 1921, and another one in 1927 (OLRA, n.d.a). Ethelyn and John likely lived in the subject residence until their deaths in 1931 and 1935 respectively. The 1930 topographic map shows the subject structure extant, with neighbours to the east and west (Figure 16).

It is unknown when exactly Mathias Collins took possession of the residence, but in 1941, members of the Collins family, acting as executors for his Estate, transferred title of the property to Russell Bradford Collins. He and his wife Ada Emily Collins owned the residence until 1973 (OLRA, n.d.a). However, it is unlikely that they ever lived in the subject residence. Rather, it is more likely that they rented it out to tenants. A year-by-year review of the occupants of the subject residence was not undertaken, but a broad sampling from various sources shows multiple people living on the premises. The 1949 Voters List (Library and Archives Canada, 1949) shows that the residence was occupied by Jack Chambers, a bookkeeper; Jack Francis, a labourer; Miss N. Kingston, a spinster; and Mrs. Lillian Kingston, a widow. The 1957 Voters List (Library and Archives Canada, 1957) shows the subject residence was occupied by Charles Clarke (meat manager), James Hare (GMC), Lillian Kingston (widow), Norma Kingston (seamstress), Richard Rodd (mechanic), and his wife Eva Rodd. The 1960 Oshawa and Whitby Directory (Vernon Directories Ltd., 1960) shows a R.E. Powell at 528 Dundas East. The 1965 directory (Vernon Directories Ltd., 1965) lists a Max Sanders and Tony Vandermale at this address. The 1970 directory (Vernon Directories Ltd., 1970) lists a John Crittenden as the occupant.

Russell and Ada Collins sold the property to Heather J. Bowyer in 1973 and she owned it until at least the late 1980s (OLRA, n.d.a). At the time of the sale, the residence was found within the Whitby core, no longer on the eastern margins of the town (note the pink shading in Figure 19). The residence continued to be rented out by Bowyer. The 1974 directory (Vernon Directories Ltd., 1974) shows two people named Eric Adams and K. Flury residing therein. The 1980 directory (Vernon Directories Ltd., 1980) shows that the site was home to G. Bowyer and Bowyer Refrigeration. This was the husband of Heather Bowyer, the owner. By 1992, the directory (Vernon Directories Ltd., 1992) lists a K. Kerr as the occupant.



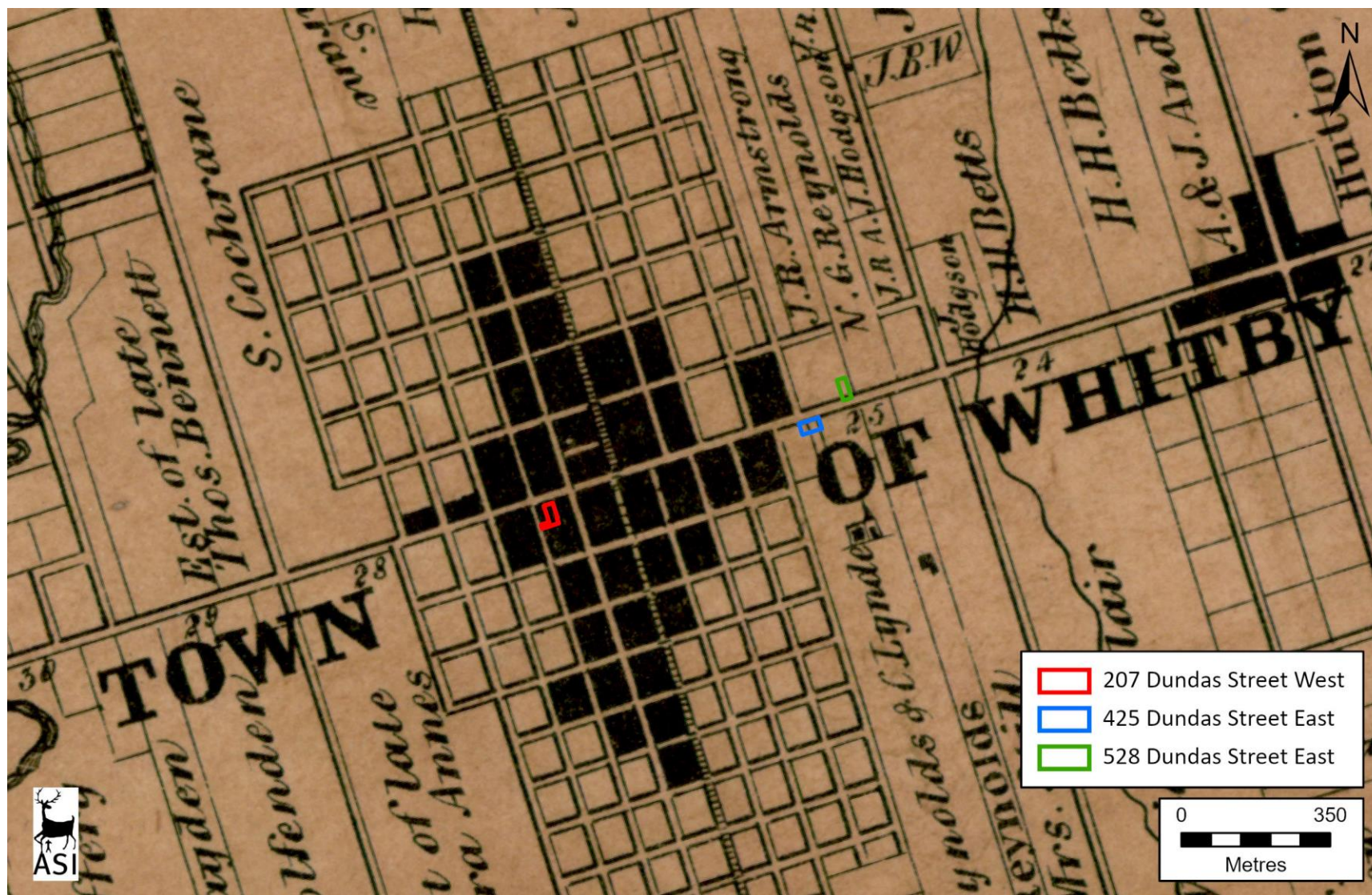


Figure 14: The location of the subject properties overlaid on the 1860 Tremaine Map of the County of Ontario
Source: Map of the County of Ontario (Tremaine, 1860)

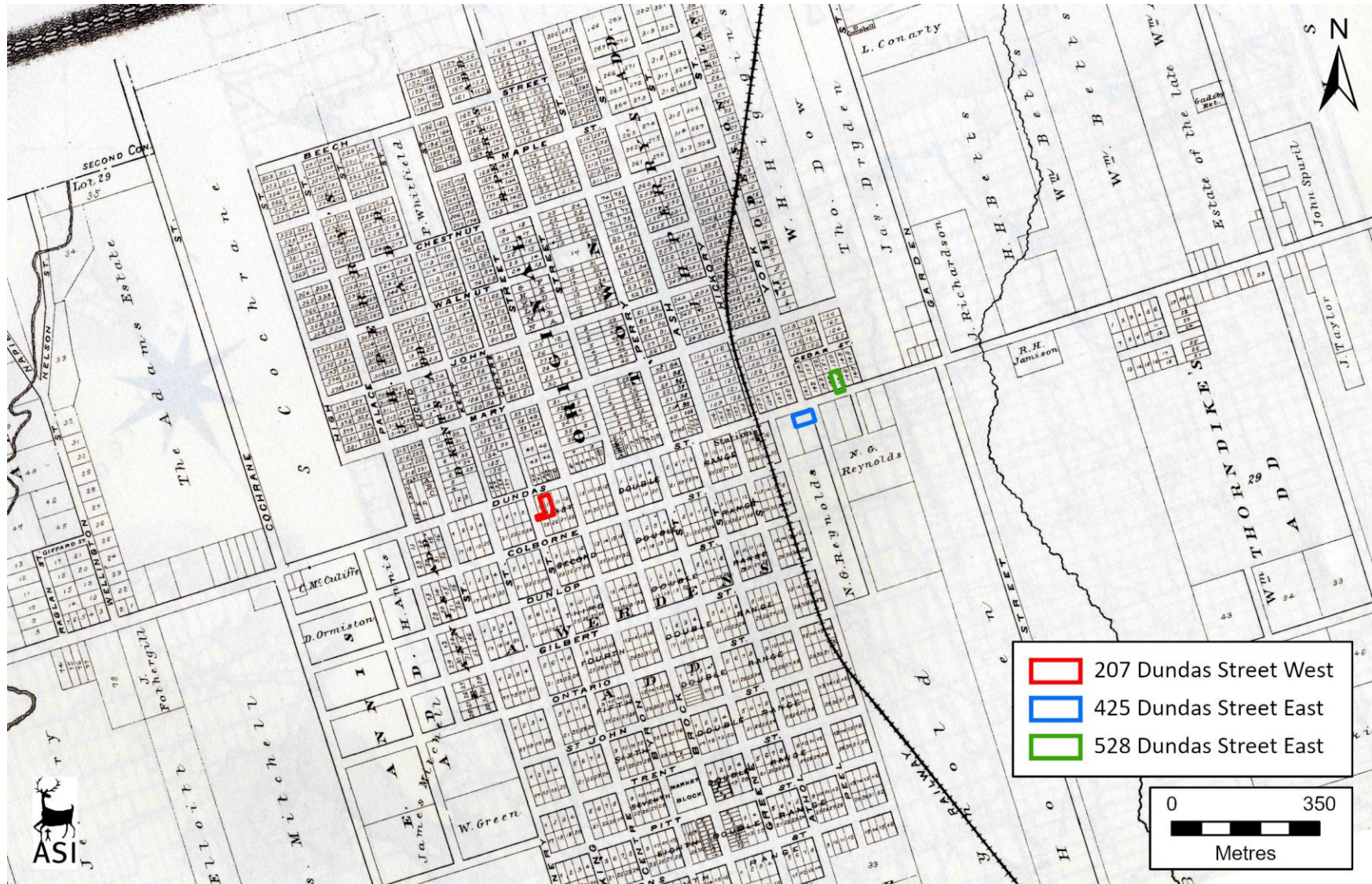


Figure 15: The location of subject properties overlaid on the 1877 Illustrated Historical Atlas of Ontario County
Source: Illustrated Historical Atlas of Ontario County (Miles & Co., 1877)



Figure 16: The location of the subject properties overlaid on the 1930 topographical map, Oshawa Sheet
Source: (Department of National Defence, 1930)



Figure 17: The location of 207 Dundas Street West overlaid on the 1934 Fire Insurance Plan for Whitby
Source: (Underwriter's Survey Bureau, 1934)

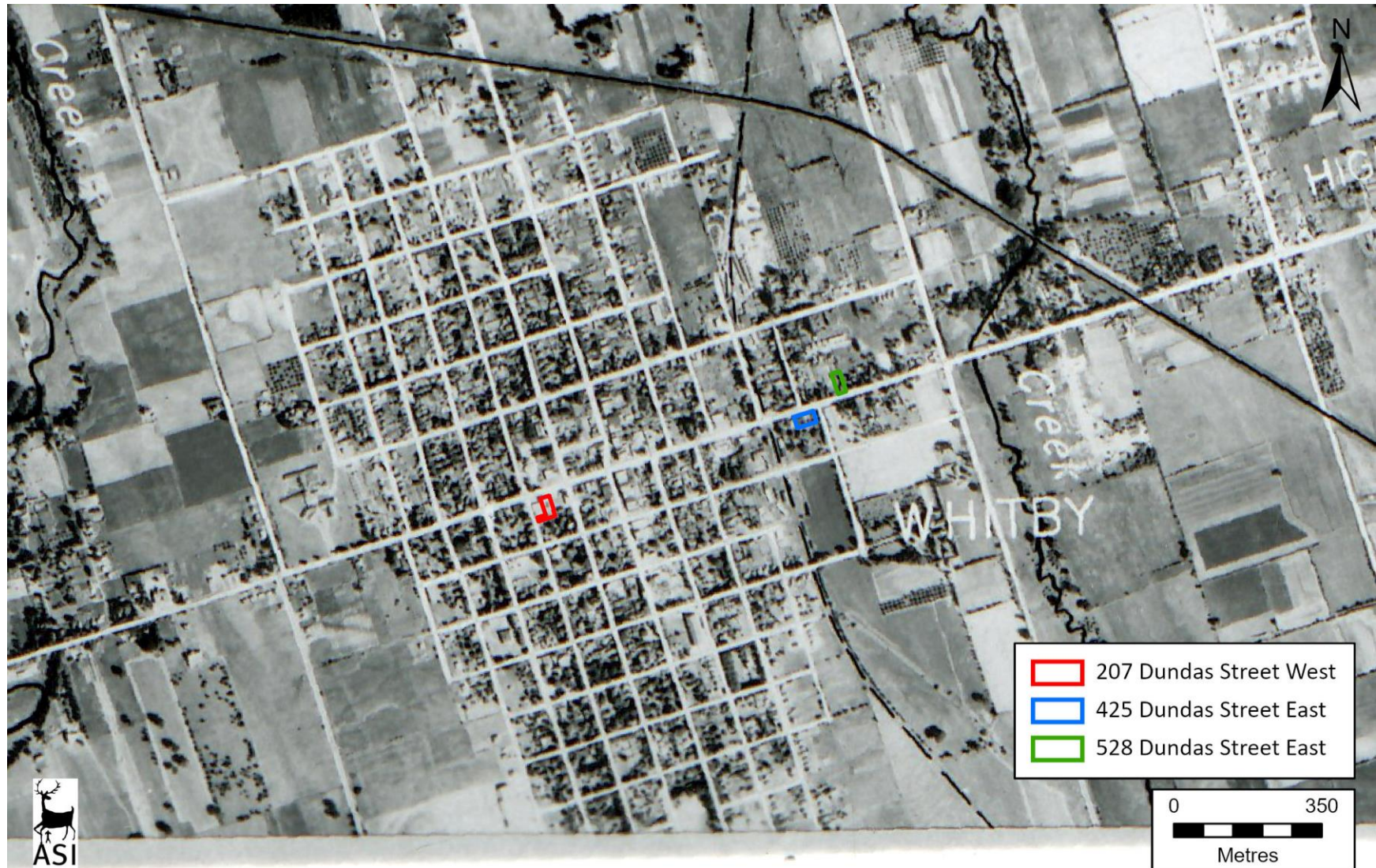


Figure 18: The location of the subject properties overlaid on a 1954 aerial photograph
Source: (Hunting Survey Corporation Limited, 1954)

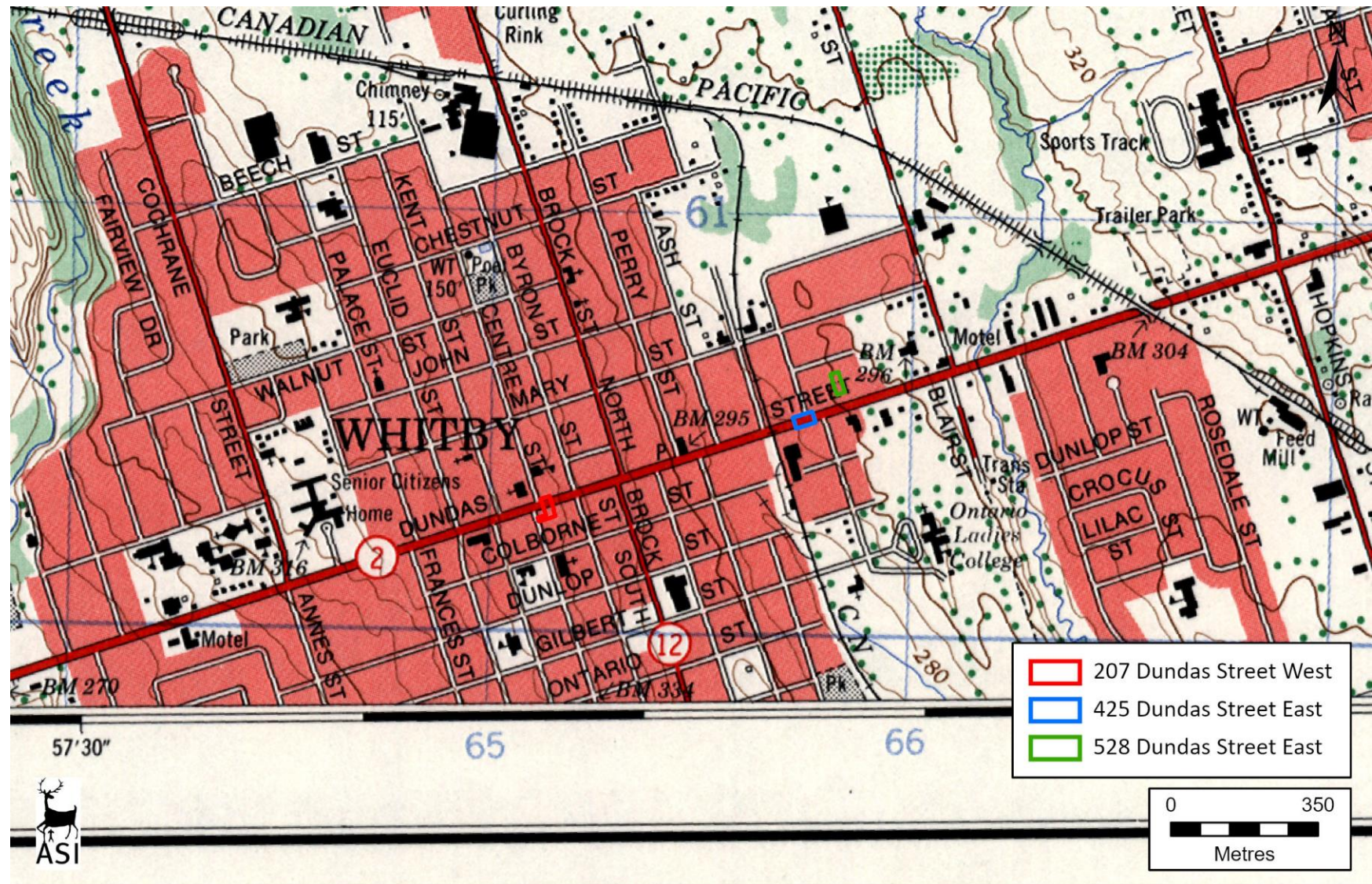


Figure 19: The location of subject properties overlaid on the 1976 topographical map, Brooklin Sheet
Source: (Department of Energy, Mines and Resources, 1976)



Figure 20: The location of the subject properties overlaid on a 2021 aerial image
Source: Satellite Imagery, 2021

8.0 DISCUSSION OF PHYSICAL AND DESIGN VALUE

8.1 207 Dundas Street West

8.1.1 *Physical Characteristics*

The description and discussion of design and physical value of the building is limited to the exterior features that are visible from the publicly accessed right-of-way.

The subject property at 207 Dundas Street West in the Town of Whitby is on the south side of Dundas Street East, an early transportation route. The property is approximately 28 metres east of Centre Street South. The property features a two-storey mixed use building that was designed by the architect Hiram Barber of Oshawa and constructed in 1880 as the Whitby House Hotel. The building has a rectangular footprint with later rear additions, a new parapet along the roofline of the front façade, and projecting quoins at the corners of the front façade. The front façade features three bays with arched windows along the second storey and altered windows and entryway along the main floor. The building has been covered in stucco. A concrete patio area is located along the front elevation of the building with concrete steps and metal railings. There are two chimneys along the eastern elevation and two chimneys along the western elevation.

Photographic plates (Plate 1 to Plate 8) are provided in Section 8.1.3. No original structural drawings were available at the time of report submission.

8.1.2 *Building Alterations*

The exterior of the building at 207 Dundas Street West has been altered since its construction (see historic photographs in Section 7.4.1 that capture the building's original exterior). The exterior of the building has been clad in stucco and rear additions have been built onto the former hotel. During the mid-1990s, the main floor curved windows were replaced with large garage-style windows. Concrete window arches have been added to the windows and other decorative elements have been replaced or covered over with stucco including the brick corbelling under the roofline, and the projecting brick columns at either corner of the front façade and framing the middle bay. The decorative parapet has also been removed and replaced with a simpler version. Projecting quoins at the corners and one-storey high columns framing the central bay were introduced to the front façade as decorative elements. On the side elevations, the four externally bracketed chimneys remain visible, although the top portion of three of four stacks have been removed.



8.1.3 Existing Conditions Photographs



Plate 1: Northern elevation of 207 Dundas Street West (ASI 2021).



Plate 2: Eastern elevation of 207 Dundas Street West (ASI 2021).



Plate 3: Northern and western elevations of 207 Dundas Street West (ASI 2021).



Plate 4: Southern and western elevations of 207 Dundas Street West (ASI 2021).



Plate 5: Detail view of windows along the main floor (ASI 2021).



Plate 6: Detail view of the main entranceway (ASI 2021).



Plate 7: Detail view of the second storey windows (ASI 2021).



Plate 8: View of the chimneys along the western elevation (ASI 2021).

8.2 425 Dundas Street East

8.2.1 *Physical Characteristics*

The description and discussion of design and physical value of the building is limited to the exterior features that are visible from the publicly accessed right-of-way.

The property at 425 Dundas Street East in the Town of Whitby is on the southwest corner of Dundas Street East and Reynolds Street. The property features a two-storey Italianate brick residence constructed in 1859, formerly known as the William Burns House and later as the Pugsley Manor, presently the Muslim Welfare Home. The residence features a hipped roof and dichromatic brickwork with a decorative enclosed front porch. The decorative balustrade is located on top of the enclosed porch. The windows of the residence feature flat arches in buff brick. The house rests on a fieldstone foundation. The roof features asphalt shingles and overhanging eaves with decorative brackets. A chimney is located along the western elevation. The residence has modern additions at the rear and eastern elevation. A detached garage is also located to the southwest of the residence.

Photographic plates (Plate 9 to Plate 15) are provided in Section 8.2.3. No original structural drawings with information regarding the architect or builder responsible for the design of the structure were available at the time of report submission.

8.2.2 *Building Alterations*

Alterations to the exterior of the residence at 425 Dundas Street East include new windows, and a rear extension which is visible in photographs of the residence from c. 1970. However, the present large addition was constructed during 1987. The decorative enclosed porch is also visible in the photographs from c. 1970. Its placement and design is likely original to the construction of the residence, along with the front steps and railings, though some of the materials are likely replacements.



8.2.3 Existing Conditions Photographs



Plate 9: Northern elevation of 425 Dundas Street East (ASI 2021).



Plate 10: Western elevation of 425 Dundas Street East (ASI 2021).



Plate 11: Eastern elevation of 425 Dundas Street East (ASI 2021).



Plate 12: Southern and eastern elevations of 425 Dundas Street East (ASI 2021).



Plate 13: Detail view of windows along the main floor (ASI 2021).

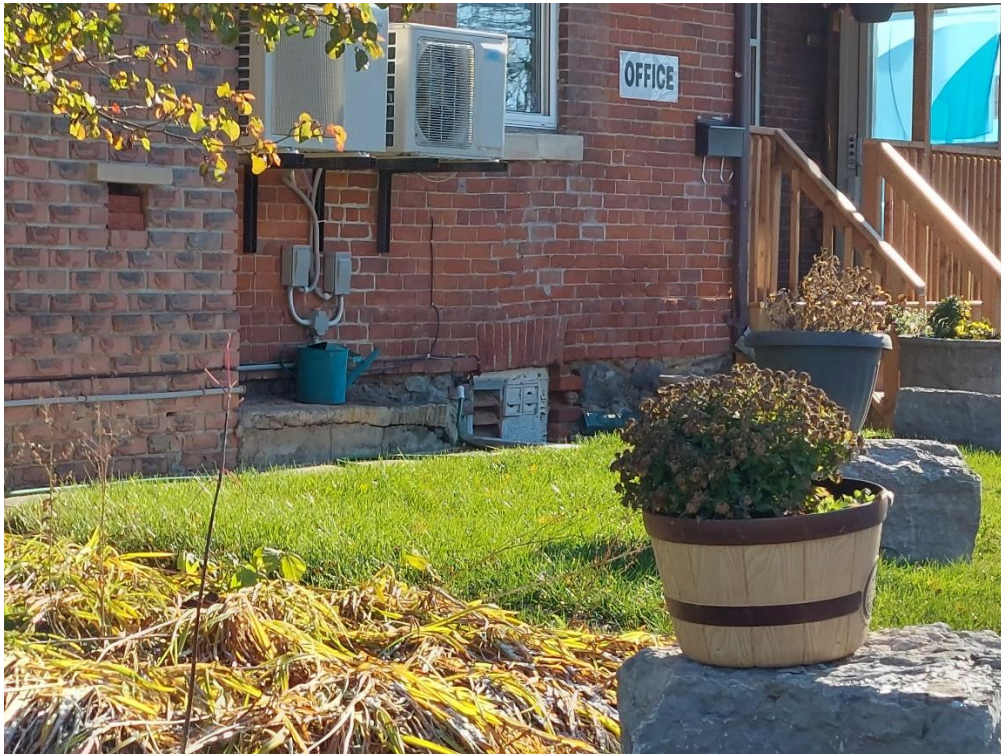


Plate 14: Detail view of the foundation (ASI 2021).



Plate 15: View of the detached garage on the property of 425 Dundas Street East (ASI 2021).

8.3 528 Dundas Street East

8.3.1 *Physical Characteristics*

The description and discussion of design and physical value of the building is limited to the exterior features that are visible from the publicly accessed right-of-way.

The property at 528 Dundas Street East in the Town of Whitby is on the north side of Dundas Street West and is set close to the road. The property is approximately 91 metres east of Pine Street. The property features a two-storey, three bay residence that was constructed between 1852 and 1860. The physical characteristics of this house include some elements common in the Georgian architectural style. The house features a low hipped roof with overhanging eaves, asphalt shingles and a chimney along the western elevation. It has symmetrical windows flanking the covered front entrance. The house has been covered in stucco which extends down to ground level. The covered entrance rests on concrete and has metal railings. A transom window is located above the doorway along the southern elevation. The house has a one-and-a-half storey rear addition with gable roof and a saltbox extension. A brick chimney is located at the northern end of the addition. Another small addition is also located along the eastern elevation of the rear addition (possibly a coldroom). A detached garage is located to the northeast of the residence.

Photographic plates (Plate 16 to Plate 24) are provided in Section 8.3.3. No original structural drawings with information regarding the architect or builder responsible for the design of the structure were available at the time of report submission.

8.3.2 Building Alterations

Alterations to the exterior of the residence at 528 Dundas Street East include the addition of stucco over brick and a rear addition was added to the residence. The front porch, soffits, windows and doors have been replaced with modern materials.

8.3.3 Existing Conditions Photographs



Plate 16: Southern elevation of 528 Dundas Street East (ASI 2021).



Plate 17: Eastern elevation of 528 Dundas Street East (ASI 2021).



Plate 18: Western elevation of 528 Dundas Street East (ASI 2021).



Plate 19: Western elevation of 528 Dundas Street East (ASI 2021).

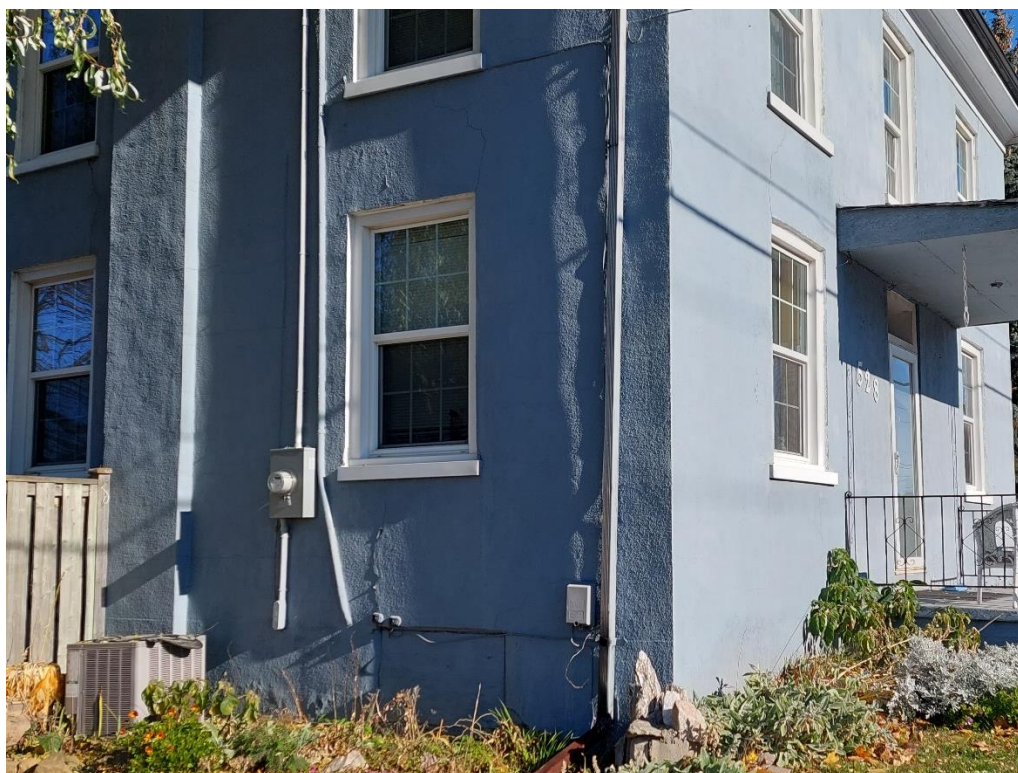


Plate 20: Detail of first floor windows (ASI 2021).



Plate 21: Detail view of the front entrance and transom window (ASI 2021).



Plate 22: Detail view of the concrete foundation for the front porch (ASI 2021).



Plate 23: Detail of the stucco covering the foundation (ASI 2021).



Plate 24: View of the detached garage at the rear of the property (ASI 2021).

9.0 DISCUSSION OF CONTEXTUAL VALUE

9.1 207 Dundas Street West

9.1.1 *Setting and Character of the Property and Surroundings*

The subject property at 207 Dundas Street West in the Town of Whitby is on the south side of Dundas Street East, an early transportation route. The property is approximately 28 metres east of Centre Street South. The building occupies the majority of the property parcel. A small patio area is located to the north of the building and a paved parking area is located at the rear (south) with access from Centre Street South.

The Dundas Street corridor is an east-west oriented roadway with primarily commercial uses located along the roadway in the immediate vicinity of the subject property. Dundas Street West carries two lanes of vehicular traffic in each direction and it is a public transit route. To the south of the subject property are former residences which have been converted to commercial uses along Colborne Street West (Plate 25 to Plate 26).

9.1.2 *Context Photographs*



Plate 25: Looking east from the subject property along the Dundas Street West corridor (ASI 2021).



Plate 26: Looking west from the intersection of Dundas Street West and Centre Street South (ASI 2021).

9.1.3 Community Landmark

The subject property at 207 Dundas Street West is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context.

9.2 425 Dundas Street East

9.2.1 Setting and Character of the Property and Surroundings

The property at 425 Dundas Street East in the Town of Whitby is on the southwest corner of Dundas Street East and Reynolds Street. The subject property is also located to the south of the intersection of Dundas Street East and Pine Street. There are landscaped gardens surrounding the building and metal fencing is located along the Dundas Street East frontage and continues along the Reynolds Street frontage with wooden fencing extending along Reynold Street. A paved driveway has access off of Dundas Street East as well as Reynolds Street. A detached garage is located at the southwest corner of the property parcel.

The Dundas Street corridor is an east-west oriented roadway with a mixture of residential and commercial properties located along the roadway to both the east and west of the subject property. Dundas Street East carries two lanes of vehicular traffic in each direction and it is a public transit route,

with a westbound transit stop and bus shelter located across Dundas Street East on the west side of Pine Street, immediately northwest of the subject property. Both Pine Street and Reynolds Street are north-south oriented roadways with primarily residences lining them (Plate 27 to Plate 30).

9.2.2 Context Photographs



Plate 27: Looking west along Dundas Street East with the subject property on the left (ASI 2021).



Plate 28: Looking east along Dundas Street East from north of the subject property (ASI 2021).



Plate 29: Looking north to Pine Street from the subject property at 425 Dundas Street East (ASI 2021).



Plate 30: Looking southwest to Reynolds Street from Dundas Street East (ASI 2021).

9.2.3 Community Landmark

The subject property at 425 Dundas Street East is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context.

9.3 528 Dundas Street East

9.3.1 Setting and Character of the Property and Surroundings

The property at 528 Dundas Street East in the Town of Whitby is on the north side of Dundas Street West and is set close to the road. The property is approximately 91 metres east of Pine Street. The residence is set close to the roadway with small gardens lining the front (southern) elevation. The property has several mature trees to both the east and west of the residence with more to the north and a landscaped hedge along the western border of the property. A paved driveway is located to the east of the residence that extends northwards to the detached garage northeast of the house. A backyard is north of the residence.

The Dundas Street corridor is an east-west oriented roadway with primarily residential or former residential properties in the vicinity of the subject property. Dundas Street East carries two lanes of vehicular traffic in each direction and it is a public transit route. The property is surrounded by a low-rise



apartment building to the east and a residence to the west. Across the street to the south is a low-rise apartment building. To the north of the subject property is a residence (Plate 31 to Plate 32).

9.3.2 Context Photographs



Plate 31: Looking east along Dundas Street East from the subject property (ASI 2021).



Plate 32: Looking west along Dundas Street East from the subject property (ASI 2021).

9.3.3 Community Landmark

The subject property at 528 Dundas Street East is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context.

10.0 COMPARATIVE ANALYSIS

Properties designated under Part IV and Part V of the *Ontario Heritage Act*, and those listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c) were all reviewed to identify comparable buildings for the purposes of establishing a comparative context for evaluating the subject properties. Comparative examples were selected either to compare architectural style or building typology and to situate the subject properties in relation to their local context.

10.1 207 Dundas Street West

The subject property at 207 Dundas Street West was built in 1880 as the Whitby House Hotel. The building has a rectangular footprint with later rear additions, a simple parapet along the front façade, and projecting quoins. The front façade features three bays with arched windows in the second storey and altered windows and entryway on the main floor. The brick building has been covered in stucco.



There are two chimneys along the eastern elevation and two chimneys along the western elevation. According to historic photographs of the building, the former hotel displayed elements of the Renaissance Revival architectural style (Figure 7), however much of the decorative architectural elements have been covered with the stucco and concrete currently on the exterior of the building. The building is not listed as a heritage property or designated under Part IV or V of the *Ontario Heritage Act* by the Town of Whitby; however, it was identified by heritage staff to potentially be added to the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c)⁵.

The Town of Whitby has three properties that contain late-nineteenth century former hotels. Two of these properties are listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c) and one is designated under Part V of the *Ontario Heritage Act* as part of the Brooklin HCD. The previously identified former hotels display varying types of architectural styles, though the styles share similar architectural elements such as decorative dichromatic brickwork and symmetrical front façades. The three former hotels have been provided below for comparative purposes.

9005 Ashburn Road – Listed on the Municipal Heritage Register



Plate 33: 9005 Ashburn Road (Courtesy of Google Streetview 2014).

Built between 1868 – 1869, the property was formerly known as the Wilson House Hotel (Town of Whitby, 2020c). The building is two-and-a-half storeys with a rectangular footprint and features a mixture of Georgian and Italianate architectural elements (Plate 33). The building features the size and

⁵ This was done via comments received on the *Durham-Scarborough Bus Rapid Transit Cultural Heritage Report – Existing Conditions and Preliminary Impact Assessment: City of Toronto and Durham Region, Ontario* (ASI, 2021).

massing of a Georgian building and the symmetrical façade. Many of the decorative architectural elements are Italianate in style, including the brackets beneath the wide overhanging eaves, segmented arches above the windows and other decorative dichromatic brickwork.

56 Baldwin Street Designated under Part V of the Ontario Heritage Act



Plate 34: 56 Baldwin Street (Courtesy of Google Streetview 2021).

Built in 1872, the property was formerly known as the Brooklin House Hotel (Town of Whitby, 2020a; Winter, 1966). The former hotel is two-and-a-half storeys with a square footprint with a low-pitched hipped roof with wide eaves (Plate 34). The building features a symmetrical front (eastern) façade with a central door flanked by two windows on each side. The exterior has decorative dichromatic brickwork, including the quoining, segmental arches above the windows and other openings.

171 Brock Street North – Listed on the Municipal Heritage Register



Plate 35: 171 Brock Street North (Courtesy of Google Streetview 2020).

Built between 1872 – 1873, the property was formerly known as the Royal Hotel (Town of Whitby, 2020c). The former hotel is three storeys with a rectangular footprint (Plate 35). The front (western) façade features an altered first floor exterior, with the second and third storeys maintaining their original decorative dichromatic brickwork. There is a parapet wall with overhanging eaves and decorative brackets.

Summary

The three identified comparative buildings represent varying types of architectural styles, though the styles share similar architectural elements such as decorative dichromatic brickwork and symmetrical front façades. The other buildings retain greater integrity of their architectural styles as there have been fewer exterior alterations to them. The construction dates for these three buildings are all within a five year span of one another, 1868 – 1873. The subject building with a construction date of 1880 is therefore a late example of hotel architecture within the Town of Whitby.

10.2 425 Dundas Street East

The subject property at 425 Dundas Street East features a two-storey Italianate brick residence constructed in 1859, formerly known the William Burns House and later as the Pugsley Manor. The residence features a hipped roof and dichromatic brickwork with a decorative enclosed front porch. The windows of the residence feature flat arches in buff brick. The house rests on a fieldstone foundation.



The roof features asphalt shingles and overhanging eaves with decorative brackets. A chimney is located along the western elevation. The residence has additions at the rear and eastern elevation. The property is listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c).

The Town of Whitby contains several nineteenth-century Italianate residences including: one property designated under Part IV of the *Ontario Heritage Act*, seven properties designated under Part V of the *Ontario Heritage Act* within the Werden's Plan Neighbourhood HCD (one of these properties is also designated under Part IV), and five properties listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c). Among the chief characteristics of the Italianate style are the Georgian balance, decorated cornice brackets, wide projecting eaves, dichromatic elements with contrasting materials and colours found around the windows and corners, and the houses would at times incorporate Gothic features such as vergeboards or lancet windows, or Classical details that would be stylized or exaggerated (Blumenson, 1990). Three properties have been selected for comparative purposes.

301 Gilbert Street East – Designated under Part IV and V of the Ontario Heritage Act



Plate 36: 301 Gilbert Street East (Courtesy of Google Streetview 2009).

The house was constructed in 1875 and is known as the Barnes House (Town of Whitby, 2020d). The residence is a two-storey red brick house with buff brick decorative elements and a single-storey side addition with rear tail (Plate 36). The front façade features a bay window and enclosed wooden porch. The hipped roof features asphalt shingles and decorative wooden brackets. The addition and rear tail both feature a gable roof.

200 Byron Street South - Designated under Part V of the Ontario Heritage Act



Plate 37: 200 Byron Street South (Courtesy of Google Streetview 2021).

The house was constructed in 1864, is known as the Doctor Robert Gunn House, and has been classified as 'historic' within the Werden's Plan Neighbourhood HCD (Town of Whitby, 2020b). The two-storey red brick residence features buff brick decorative elements, including quoining and segmental arches over the windows (Plate 37). The front façade features a bay window and open wooden porch. The hipped roof features asphalt shingles and decorative wooden brackets.

725 Myrtle Road West – Listed on the Municipal Heritage Register



Plate 38: 725 Myrtle Road West (Courtesy of Google Streetview 2020).

The house was constructed in 1878 and is known as the Presbyterian Manse (Town of Whitby, 2020c). The two-storey red brick residence features buff brick decorative elements, including arches over the windows (Plate 38). The front façade features arched windows along the second storey, a single rectangular window and front door with transom and sidelight, and covered wooden porch with decorative wooden trim. The hipped roof features asphalt shingles.

Summary

The three comparative buildings represent a range of architectural detailing found in Whitby's Italianate residences. While details and integrity vary across these examples, the form of the Italianate residences, the decorative elements, including brickwork and woodwork, and the original fenestration are legible in all of them. The subject property retains its original form with the addition to the rear and east elevations not detracting from the legibility of the residence as Italianate in style. The subject property, constructed in 1859 is the earliest example from the comparative sample, though only predates one of the examples by five years. The subject property is therefore an early and representative example of the style within the local context because it displays many of the characteristics of the Italianate style, including its balance, decorated cornice brackets, wide projecting eaves, and dichromatic elements with contrasting materials and colours around the windows and corners.

10.3 528 Dundas Street East

The subject property at 528 Dundas Street East features a two-storey, three bay residence that was constructed between 1852 and 1860. The house features a hipped roof with overhanging eaves, asphalt shingles and a chimney along the western elevation. The residence has symmetrical windows flanking the covered front entrance. The house has been covered in stucco which extends down to ground level. The covered entrance rests on concrete and has metal railings. A transom window is located above the doorway along the southern elevation. The house has a one-and-a-half storey rear addition with gable roof and a saltbox extension. A brick chimney is located at the northern end of the addition. Another small addition is also located along the eastern elevation of the rear addition (possibly a coldroom). The property is listed on the Town of Whitby's *Municipal Heritage Register – Inventory of Listed Properties (Not Designated)* (Town of Whitby, 2020c).

The property at 528 Dundas Street East displays some elements of the Georgian architectural style. The Town of Whitby contains many examples of residences which display elements of this architectural style.

The Georgian style in Ontario derives from architectural trends and styles popular in England during the reign of King George I to King George IV from 1730 – 1830, and would have first been brought to Ontario via Loyalists from the United States (Mikel, 2004; Ontario Heritage Trust, 2016). As the Georgian period ended prior to Confederation, the number of Georgian buildings in the province is low relative to late-century styles like Gothic Revival.

The Georgian style is known for its symmetry, order and formality along with Classical detailing (Blumenson, 1990, p. 5). This style “tends to mark the diffusion of middle-class dwellings throughout the lakefront townships. (...) They were typically six metres by nine or larger; this dimension was not regularly surpassed in the province until after Confederation. (...) The houses tend to have a distinctively wide space on either side of the central doorway, plus a large central chimney. They could have as many as three cooking fireplaces (one facing each side, and the third to the rear), the chimney occupied about one-third of the space enclosed by the walls, and the wider central bay was needed to accommodate it” (McIlwraith, 1997, p. 109). Georgian residences constructed by Loyalists tended to be plain brick or timber-frame houses with a steep roof, flat or jack arched window heads, twelve-over-twelve light sash-type windows, louvered shutters, and solid wooden panel shutters (Blumenson, 1990).

Four examples have been selected for comparative purposes.



299 Front Street West – Designated under Part IV of the Ontario Heritage Act



Plate 39: 299 Front Street West (Courtesy of Google Streetview 2015)

This house, built c. 1856 is known as the Captain James Rowe House (Town of Whitby, 2020d). The two-storey frame residence features an L-shaped footprint with gable roof and a rear addition (Plate 39). The front façade features three bays, an off-centre doorway with transom flanked by symmetrical windows, and covered front porch.

900 Brock Street South⁶ – Designated under Part IV of the Ontario Heritage Act



Plate 40: 900 Brock Street South (Courtesy of Google Streetview 2020)

This house, built 1812-1814 is known as the Jabez Lynde House (Town of Whitby, 2020d). The two-storey frame residence features a rectangular footprint with a hipped roof (Plate 40). The front façade features five bays, a central doorway with transom and sidelights flanked by symmetrical windows, well preserved classical details, and covered front porch.

⁶ The Town of Whitby's *Municipal Heritage Register – Inventory of Part IV Designated Properties – Individual Property Designation* (Town of Whitby, 2020d) identifies the address as 900 Brock Street South; however, the by-law for designation lists the address as 910 Brock Street South. Both addresses share the same property parcel.

312 Colborne Street West – Designated under Part IV of the Ontario Heritage Act



Plate 41: 312 Colborne Street West (Courtesy of Google Streetview 2014).

The former house (presently office space) was built in 1876 and is known as the James Madill House (Town of Whitby, 2020d). The two-storey red brick residence features a rectangular footprint, hipped roof, and chimney (Plate 41). The three bay front façade with central door features symmetrical windows and a covered front entrance. The projecting eaves have a plain soffit that is delineated by a molded frieze and paired brackets. The window frames and exterior trim are original to the former residence (Town of Whitby, 2015).

1601 Brock Street South – Listed on the Municipal Heritage Register



Plate 42: 1601 Brock Street South (Courtesy of Google Streetview 2021).

This house was built in 1854 (Town of Whitby, 2020c). The two-storey frame residence features a rectangular footprint with rear addition and a gable roof (Plate 42). The front façade features a central door and symmetrical windows. The front door features sidelights.

Summary

The subject property at 528 Dundas Street East features a two-storey, three bay residence that was constructed between 1852 and 1860. While the house does feature some architectural elements of the Georgian style, it is not considered an early example of this style or one which serves as an effective or particularly compelling representative expression of the Georgian style. These conclusions are based on a review of comparative properties extant in the Whitby context and as based on readily-available municipal heritage register information. Some of the interventions to the building that result in this property not being a representative example are: the modern window and door replacements; addition of a front porch with concrete foundations and steps; modern stucco exterior; and new materials around windows and soffits.

11.0 HERITAGE EVALUATION

11.1 207 Dundas Street West

The evaluation of the subject property at 207 Dundas Street West using the criteria set out in *Ontario Regulations 9/06* and *10/06* are presented in the following sections (Table 2 and Table 3).

11.1.1 Ontario Regulation 9/06

Table 2: Evaluation of 207 Dundas Street West – *Ontario Regulation 9/06*

| 1. The property has design value or physical value because it: | | |
|--|-----------------------|--|
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. is a rare, unique, representative or early example of a style, type, expression, material or construction method; | N | <p>This two storey hotel was built in the 1880s as the Whitby House Hotel. In the second half of the twentieth century, the original dichromatic brickwork and other decorative detailing was covered over with stucco, the original parapet and ornaments along the roofline were removed, and some of the exterior fenestration was altered. The property ceased operations as a hotel in the early 1980s, however it remains in use as a commercial property.</p> <p>Comparative analysis demonstrates that there are a number of other hotels in Whitby from the nineteenth century that were constructed earlier, and retain more of their original architectural detailing and material. This property is not a rare, unique, representative or early example of a hotel in Whitby.</p> <p>The subject structure does not meet this criterion.</p> |
| ii. displays a high degree of craftsmanship or artistic merit; or | N | <p>The exterior of this building was altered in the second half of the twentieth century through the introduction of stucco over the original exterior brick and polychromatic detailing, and removal of the original parapet and ornaments along the roofline. While some of these features may remain intact beneath the stucco, the building as it appears today does not meet this criterion.</p> |
| iii. demonstrates a high degree of technical or scientific achievement. | N | <p>There is no indication that construction of this structure demonstrates a high degree of technical or scientific achievement.</p> <p>The subject structure does not meet this criterion.</p> |
| 2. The property has historical value or associative value because it: | | |
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. has direct associations with a theme, event, belief, person, | Y | <p>The hotel was owned and operated by members of the Bandel family from 1880 to 1948 and was a</p> |



| | | |
|--|-----------------------|--|
| activity, organization or institution that is significant to a community; | | prominent institution in the community throughout that time. The building underwent significant alterations at various times throughout the twentieth century. Nevertheless, it continued as a hotel until the early 1980s. |
| ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or | N | There is no indication that the subject structure has the potential to yield information that contributes to an understanding of a community or culture. The subject structure does not meet this criterion. |
| iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. | Y | The subject structure was designed by architect Hiram R. Barber and completed in 1880. Barber was an important architect in Ontario County in the 1870s and early 1880s, designing many important civic, religious, and residential buildings. The subject structure meets this criterion. |
| 3. The property has contextual value because it: | | |
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. is important in defining, maintaining or supporting the character of an area; | Y | The subject property is located just west of the historic commercial core of downtown Whitby, and given it retains its original nineteenth-century building and commercial function, two storey three-bay massing and minimal set back from the road, this property is important in supporting and maintaining the historic commercial character of this part of Dundas Street West in the Town of Whitby. |
| ii. is physically, functionally, visually or historically linked to its surroundings; or | Y | The subject property is functionally linked to its surroundings through its continued use as a commercial property and relationship to downtown commercial Whitby as the Whitby House Hotel. |
| iii. is a landmark. | N | The subject property at 207 Dundas Street West is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context. |

11.1.2 Ontario Regulation 10/06

Table 3: Evaluation of 207 Dundas Street West – Ontario Regulation 10/06

| | | |
|---|-----------------------|--|
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. The property represents or demonstrates a theme or pattern in Ontario's history; | N | The subject property is associated with residential development along Dundas Street West within the Town of Whitby. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion. |
| ii. The property yields, or has the potential to yield, information that | N | This property is not considered to retain potential to yield information that contributes to the |



| | | |
|--|---|---|
| contributes to an understanding of Ontario's history; | | understanding of Ontario's history. The subject property does not meet this criterion. |
| iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage; | N | The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion. |
| iv. The property is of aesthetic, visual or contextual importance to the province; | N | The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion. |
| v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period; | N | The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion. |
| vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use; | N | The subject property does not retain a strong or special association with the entire province or with a specific community throughout the province. The subject property does not meet this criterion. |
| vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and, | N | The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion. |
| viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property. | N | The property is located within the Town of Whitby (an incorporated municipality), therefore, Criterion 8 does not apply. |

11.1.3 Recommended Outcome of Heritage Evaluation

An evaluation using the criteria outlined in *Ontario Regulations 9/06* and *10/06* determined that the subject property at 207 Dundas Street West has CHVI at the local level and but not at the provincial level. In particular, the property was found to have historical and contextual value under *Ontario Regulation 9/06*.

11.1.4 Draft Statement of Cultural Heritage Value or Interest

Description of Property

The subject property at 207 Dundas Street West is located on the south side of Dundas Street West to the east of Centre Street South, in the Town of Whitby. The property contains a two-storey three-bay



former hotel built in 1880 that continues to operate as a commercial establishment. The building underwent exterior and interior renovations in the second half of the twentieth century which altered the original appearance and brick detailing, however the general scale, massing, upper-storey fenestration and central entrance off Dundas Street West remains intact.

Cultural Heritage Value or Interest

The subject property has historical associative value in the local context through its association with members of the Bandel family who built, owned and operated the hotel on this property from 1880 to 1948. Known as the Whitby House Hotel, the hotel and the family was a prominent institution in the community in the late nineteenth century and in the twentieth century. The property continued to operate as a well known hotel in the community through to the early 1980s. Further, the 1880 hotel was designed by architect Hiram R. Barber who was an important architect in Ontario County at that time and was responsible for designing many notable buildings in the region.

The property at 207 Dundas Street West has contextual value in the local context as it is important to maintaining and supporting the historic downtown commercial character of the general area, and because it retains functional links to its surroundings through continued commercial use and its relationship to the historic downtown. The scale and massing of the two-storey building, central front entrance and small set back from the road supports the physical links of this building to the road and streetscape.

Heritage Attributes

Physical attributes of 207 Dundas Street West that support the historical and contextual value of the property include:

- The 1880 two-storey three-bay commercial structure with rectangular footprint and flat roof;
- Intact fenestration on second floor of the front façade;
- The central entrance on the front façade; and
- The small set back from the Dundas Street West right-of-way.

11.2 425 Dundas Street East

The evaluation of the subject property at 425 Dundas Street East using the criteria set out in *Ontario Regulation 9/06* and *10/06* are presented in the following sections (Table 4 and Table 5).

11.2.1 Ontario Regulation 9/06

Table 4: Evaluation of 425 Dundas Street East – *Ontario Regulation 9/06*

| 1. The property has design value or physical value because it: | | |
|---|------------------------------|--|
| <i>Ontario Heritage Act Criteria</i> | <i>Response (Y/N)</i> | <i>Analysis</i> |
| i. is a rare, unique, representative or early example of a style, type, | Y | The residence is a two-storey Italianate brick residence constructed in 1859. It features a hipped roof, overhanging eaves with decorative brackets, |



| expression, material or construction method; | | dichromatic brickwork with a decorative enclosed front porch. The windows of the residence feature flat arches in buff brick. The subject property is an early and representative example of this architectural style in Whitby. |
|--|-----------------------|---|
| ii. displays a high degree of craftsmanship or artistic merit; or | N | This residence used red and buff brick, common construction materials of the era and was built with similar levels of craftsmanship as other comparable Italianate residences in Whitby. Overall, it does not display a high degree of craftsmanship or artistic merit, and as such, the subject structure does not meet this criterion. |
| iii. demonstrates a high degree of technical or scientific achievement. | N | There is no indication that construction of this structure demonstrates a high degree of technical or scientific achievement. |
| 2. The property has historical value or associative value because it: | | |
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community; | Y | The subject structure has direct associations with William Burns, a shoemaker and merchant who erected and occupied the residence from its construction in 1859 until his death in 1914. Burns was noted as a pioneering merchant and was well-known in the community of Whitby during the late nineteenth and early twentieth century. The subject structure also has direct associations with Frederick Napier Burns, the son of William Burns. Frederick Napier Burns lived in the residence for his entire life, from 1873-1932. He was an important businessman and was the owner of Burns' Cash Grocery. He was also active in civic affairs, serving the town of Whitby as Mayor in 1922 and 1925 and as a member of the Public Utility Commission. |
| ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or | N | There is no indication that the subject structure has the potential to yield information that contributes to an understanding of a community or culture. |
| iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. | N | The subject residence was designed by an unknown architect and the builder remains unknown. As such, it is not known at this time to hold any particular significance to the local community. The subject structure does not meet this criterion. |
| 3. The property has contextual value because it: | | |
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. is important in defining, maintaining or supporting the character of an area; | N | The subject property is not significant to defining, maintaining or supporting the character of its surroundings. The subject property does not meet this criterion. |



| | | |
|--|---|--|
| ii. is physically, functionally, visually or historically linked to its surroundings; or | N | The subject property does not have a significant relationship to its broader context that is important to understanding the meaning of this property, or its context. It does not have physical, functional, visual or historical connections to its surroundings. The area surrounding this property has been altered over time removing the subject structure from its original context. |
| iii. is a landmark. | N | This property is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context. |

11.2.2 Ontario Regulation 10/06

Table 5: Evaluation of 425 Dundas Street East – Ontario Regulation 10/06

| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
|--|-----------------------|--|
| i. The property represents or demonstrates a theme or pattern in Ontario's history; | N | The subject property is associated with residential development along Dundas Street East within the Town of Whitby. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion. |
| ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history; | N | This property is not considered to retain potential to yield information that contributes to the understanding of Ontario's history. The subject property does not meet this criterion. |
| iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage; | N | The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion. |
| iv. The property is of aesthetic, visual or contextual importance to the province; | N | The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion. |
| v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period; | N | The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion. |
| vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use; | N | The subject property does not retain a strong or special association with the entire province or with a specific community throughout the province. The subject property does not meet this criterion. |



| | | |
|---|---|---|
| vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and, | N | The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion. |
| viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property. | N | The property is located within the Town of Whitby (an incorporated municipality), therefore, Criterion 8 does not apply. |

11.2.3 Recommended Outcome of Heritage Evaluation

An evaluation using the criteria outlined in *Ontario Regulations 9/06* and *10/06* determined that the subject property at 425 Dundas Street East has CHVI at the local level and but not at the provincial level. In particular, the property was found to have design and historical value under *Ontario Regulation 9/06*.

11.2.4 Draft Statement of Cultural Heritage Value or Interest

Description of Property

The subject property at 425 Dundas Street East is located on the southwest corner of the intersection of Dundas Street East and Reynolds Street, in the Town of Whitby and was formerly known as the William Burns House and Pugsley Manor. The property contains a two-storey Italianate residence built in 1859 that continues to operate as a residential property with the addition of providing communities services for those in need. Two additions have been constructed onto the house, though both are to the rear of the residence and much of the original exterior otherwise remains intact.

Cultural Heritage Value or Interest

The property has design and physical value in the local context as a two-storey Italianate residence that was constructed in 1859. It is significant as an early and representative example of the Italianate architectural style within the Town of Whitby. It displays many of the characteristics of the Italianate style, including its balance, decorated cornice brackets, hipped roof, wide projecting eaves with decorative brackets, decorative enclosed porch topped with decorative ballustrade, and dichromatic elements with contrasting materials and colours around the windows and corners of the building.

The subject property has historical associative value in the local context through its association with members of the Burns family, who built and lived in this residence from its date of construction in 1859 to 1932. William Burns, who built the house was a shoemaker and merchant within Whitby and was well-known in the community during the late-nineteenth and early-twentieth century. His son, Frederick Burns, lived in the residence his entire life and was another prominent local businessman, who was active in civic affairs and served as Mayor in 1922 and 1925.



Heritage Attributes

Physical attributes of 425 Dundas Street East that support the design and historical value of the property include:

- The 1859 two-storey Italianate residence with rectangular footprint and hipped roof;
- The decorative wooden brackets and wide overhanging eaves;
- Dichromatic brickwork with buff brick used to accent window openings and corners;
- Intact fenestration on both the first and second floor of the front façade and location of the front entrance; and
- Decorative enclosed porch topped with decorative ballustrade, and wooden stairs and railings.

11.3 528 Dundas Street East

The evaluation of the subject property at 528 Dundas Street East using the criteria set out in *Ontario Regulation 9/06* and *10/06* are presented in the following sections (Table 6 and Table 7).

11.3.1 Ontario Regulation 9/06

Table 6: Evaluation of 528 Dundas Street East – *Ontario Regulation 9/06*

| 1. The property has design value or physical value because it: | | |
|--|----------------|---|
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. is a rare, unique, representative or early example of a style, type, expression, material or construction method; | N | The property features a two-storey three-bay residence that was constructed between 1852 and 1860. The house is not an early example of Georgian architecture as there are earlier examples in the Town of Whitby, such as the Jabez Lynde House built in 1812-1814. Further, it is not considered to be a representative example of Georgian architecture given other properties in the Town of Whitby feature Georgian residences that have original or more sympathetic window and door replacements, intact and well-conserved classical detailing, original exterior cladding, and original window/door surrounds. It is not known to be a rare, early or unique example of a residential building type, brick materials or construction methods. |
| ii. displays a high degree of craftsmanship or artistic merit; or | N | This type of residence was pervasive across Ontario and does not display a high degree of craftsmanship or artistic merit, as it uses common construction materials of the era. |
| iii. demonstrates a high degree of technical or scientific achievement. | N | There is no indication that construction of this structure demonstrates a high degree of technical or scientific achievement. |
| 2. The property has historical value or associative value because it: | | |



| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
|--|-----------------------|---|
| i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community; | N | The subject property is associated with the Scott family, who were merchants in Whitby in the 1850s-1870s period, then later associated with the postal service, and the Collins family from the 1930s to 1970s. The house was likely constructed by Charles Scott between 1852 and 1860, who was a local merchant. While the Scott family were a familiar family in the community, on account of Jerome Scott (Charles's son) work as a Mail Carrier and having served on Town Council, a review of township histories did not reveal any outstanding association between this property, its inhabitants, and their role in the community. The Collins family were also a well-known local family, however, archival research indicates that the family was not directly associated with the property given they did not occupy or construct the residence, but rather rented it out to tenants. |
| ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or | N | There is no indication that the subject structure has the potential to yield information that contributes to an understanding of a community or culture. |
| iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. | N | The architect and builder of the subject residence remains unknown. As such, it is not known at this time to hold any particular significance to the local community. |
| 3. The property has contextual value because it: | | |
| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
| i. is important in defining, maintaining or supporting the character of an area; | N | The subject property is not significant to defining, maintaining or supporting the character of its surroundings. The subject property does not meet this criterion. |
| ii. is physically, functionally, visually or historically linked to its surroundings; or | N | The subject property does not have a significant relationship to its broader context that is important to understanding the meaning of this property, or its context. It does not have physical, functional, visual or historical connections to its surroundings. The area surrounding this property has been altered over time removing the subject structure from its original context. |
| iii. is a landmark. | N | This property is not considered to be a landmark within the local context. It does not appear on heritage walking tours and is not physically or visually prominent within its immediate context. |



11.3.2 Ontario Regulation 10/06

Table 7: Evaluation of 528 Dundas Street East – *Ontario Regulation 10/06*

| Ontario Heritage Act Criteria | Response (Y/N) | Analysis |
|--|-----------------------|--|
| i. The property represents or demonstrates a theme or pattern in Ontario's history; | N | The subject property is associated with residential development along Dundas Street East within the Town of Whitby. However, the property does not strongly or overtly evoke this theme at the local level or provincial level. The subject property does not meet this criterion. |
| ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history; | N | This property is not considered to retain potential to yield information that contributes to the understanding of Ontario's history. The subject property does not meet this criterion. |
| iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage; | N | The property does not demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage. The subject property does not meet this criterion. |
| iv. The property is of aesthetic, visual or contextual importance to the province; | N | The property does not demonstrate any elements which may be considered of aesthetic, visual, or contextual importance to the province. The subject property does not meet this criterion. |
| v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period; | N | The property does not illustrate any technical or scientific achievements which are of provincial significance. The subject property does not meet this criterion. |
| vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use; | N | The subject property does not retain a strong or special association with the entire province or with a specific community throughout the province. The subject property does not meet this criterion. |
| vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province; and, | N | The subject property does not have a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province, and does not meet this criterion. |
| viii. The property is located in unorganized territory and the Minister (MHSTCI) determines that there is a provincial interest in the protection of the property. | N | The property is located within the Town of Whitby (an incorporated municipality), therefore, Criterion 8 does not apply. |



11.3.3 Recommended Outcome of Heritage Evaluation

An evaluation using the criteria outlined in *Ontario Regulation 9/06* determined that the subject property at 528 Dundas Street East is not known at the present time to retain CHVI at the local level, and an evaluation using the criteria outlined in *Ontario Regulation 10/06* determined that the subject property does not retain CHVI at the provincial level.

12.0 RECOMMENDATIONS

This report includes an evaluation of the cultural heritage value of three properties as determined by the criteria in *Ontario Regulations 9/06* and *10/06*. These evaluations determined that the properties at 207 Dundas Street West and 425 Dundas Street East have CHVI as outlined in *Ontario Regulation 9/06*. The properties did not meet the criteria outlined in *Ontario Regulation 10/06*. The property at 528 Dundas Street East was determined to not have CHVI as outlined in *Ontario Regulations 9/06* and *10/06*.

The following recommendations are proposed:

1. As direct impacts are anticipated to the properties at 207 Dundas Street West and 425 Dundas Street East, a resource-specific Heritage Impact Assessment (HIA) will be undertaken as early as possible during detailed design, following the TPAP. The HIA will be prepared by a qualified heritage professional in accordance with the Municipal Terms of Reference for HIAs and the *Ontario Heritage Tool Kit* (Ministry of Culture, 2006).
2. Metrolinx Heritage Committee has reviewed the results of the *Ontario Regulations 9/06* and *10/06* evaluations and is in agreement with the results and recommendations of this report. If it is confirmed that the property will be owned or controlled by Metrolinx, the Metrolinx Heritage Committee will issue a Metrolinx Heritage Committee Decision Form.
3. The property located at 528 Dundas Street was not found to meet *Ontario Regulation 9/06* at the current time and based on information available and analysis completed. It is not known to retain significant design, associative, or contextual values. The building is not known to be a good representative, early, unique or rare example of a style, expression, material, or construction method. Additionally, while some notable individuals are known to have lived in the house, and an earlier building was located on the lot by the 1851 census, direct associations between these individuals and the extant residence in its current condition and with earlier structures appear to have been lost or diminished given the alterations that have been sustained to the building over time. Such alterations include recladding of the exterior; additions to the rear; and removal of original windows and doors on the front façade. Given these conclusions and also in consideration of feedback received to date from the Town of Whitby regarding this report's conclusions with respect to the subject property, the evaluation may be revisited if the Town of Whitby has additional information to provide. At the earliest stage of detailed design, Whitby heritage staff and the Whitby Heritage Advisory Committee will be consulted.
4. The Final CHER will be submitted to municipal heritage staff and the MHSTCI for their records.



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APPENDIX A: Indigenous Engagement and Report Review Feedback - Oral History and Perspectives Table

| Community | Feedback |
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| Curve Lake First Nation | <p>The traditional homelands of the Michi Saagiig (Mississauga Anishinaabeg) encompass a vast area of what is now known as southern Ontario. The Michi Saagiig are known as “the people of the big river mouths” and were also known as the “Salmon People” who occupied and fished the north shore of Lake Ontario where the various tributaries emptied into the lake. Their territories extended north into and beyond the Kawarthas as winter hunting grounds on which they would break off into smaller social groups for the season, hunting and trapping on these lands, then returning to the lakeshore in spring for the summer months.</p> <p>The Michi Saagiig were a highly mobile people, travelling vast distances to procure subsistence for their people. They were also known as the “Peacekeepers” among Indigenous nations. The Michi Saagiig homelands were located directly between two very powerful Confederacies: The Three Fires Confederacy to the north and the Haudenosaunee Confederacy to the south. The Michi Saagiig were the negotiators, the messengers, the diplomats, and they successfully mediated peace throughout this area of Ontario for countless generations.</p> <p>Michi Saagiig oral histories speak to their people being in this area of Ontario for thousands of years. These stories recount the “Old Ones” who spoke an ancient Algonquian dialect. The histories explain that the current Ojibwa phonology is the 5th transformation of this language, demonstrating a linguistic connection that spans back into deep time. The Michi Saagiig of today are the descendants of the ancient peoples who lived in Ontario during the Archaic and Paleo-Indian periods. They are the original inhabitants of southern Ontario, and they are still here today.</p> <p>The traditional territories of the Michi Saagiig span from Gananoque in the east, all along the north shore of Lake Ontario, west to the north shore of Lake Erie at Long Point. The territory spreads as far north as the tributaries that flow into these lakes, from Bancroft and north of the Haliburton highlands. This also includes all the tributaries that flow from the height of land north of Toronto like the Oak Ridges Moraine, and all of the rivers that flow into Lake Ontario (the Rideau, the Salmon, the Ganaraska, the Moira, the Trent, the Don, the Rouge, the Etobicoke, the Humber, and the Credit, as well as Wilmot and 16 Mile Creeks) through Burlington Bay and the Niagara region including the Welland and Niagara Rivers, and beyond. The western side of the Michi Saagiig Nation was located around the Grand River which was used as a portage route as the Niagara portage was too dangerous. The Michi Saagiig would portage from present-day Burlington to the Grand River and travel south to the open water on Lake Erie.</p> <p>Michi Saagiig oral histories also speak to the occurrence of people coming into their territories sometime between 500-1000 A.D. seeking to establish villages and a corn growing economy – these newcomers included peoples that would later be known as</p> |

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| | <p>the Huron-Wendat, Neutral, Petun/Tobacco Nations. The Michi Saagiig made Treaties with these newcomers and granted them permission to stay with the understanding that they were visitors in these lands. Wampum was made to record these contracts, ceremonies would have bound each nation to their respective responsibilities within the political relationship, and these contracts would have been renewed annually (see Gitiga Migizi and Kapyrka 2015).</p> <p>These visitors were extremely successful as their corn economy grew as well as their populations. However, it was understood by all nations involved that this area of Ontario were the homeland territories of the Michi Saagiig.</p> <p>The Odawa Nation worked with the Michi Saagiig to meet with the Huron-Wendat, the Petun, and Neutral Nations to continue the amicable political and economic relationship that existed – a symbiotic relationship that was mainly policed and enforced by the Odawa people.</p> <p>Problems arose for the Michi Saagiig in the 1600s when the European way of life was introduced into southern Ontario. Also, around the same time, the Haudenosaunee were given firearms by the colonial governments in New York and Albany which ultimately made an expansion possible for them into Michi Saagiig territories. There began skirmishes with the various nations living in Ontario at the time. The Haudenosaunee engaged in fighting with the Huron-Wendat and between that and the onslaught of European diseases, the Iroquoian speaking peoples in Ontario were decimated.</p> <p>The onset of colonial settlement and missionary involvement severely disrupted the original relationships between these Indigenous nations. Disease and warfare had a devastating impact upon the Indigenous peoples of Ontario, especially the large sedentary villages, which mostly included Iroquoian speaking peoples. The Michi Saagiig were largely able to avoid the devastation caused by these processes by retreating to their wintering grounds to the north, essentially waiting for the smoke to clear.</p> <p>Michi Saagiig Elder Gitiga Migizi (2015) recounts: <i>“We weren’t affected as much as the larger villages because we learned to paddle away for several years until everything settled down. And we came back and tried to bury the bones of the Huron but it was overwhelming, it was all over, there were bones all over – that is our story.</i></p> <p><i>There is a misnomer here, that this area of Ontario is not our traditional territory and that we came in here after the Huron-Wendat left or were defeated, but that is not true. That is a big misconception of our history that needs to be corrected. We are the traditional people, we are the ones that signed treaties with the Crown. We are recognized as the ones who signed these treaties and we are the ones to be dealt with officially in any matters concerning territory in southern Ontario.</i></p> <p><i>We had peacemakers go to the Haudenosaunee and live amongst them in order to change their ways. We had also diplomatically dealt with some of the strong chiefs to</i></p> |
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| | <p><i>the north and tried to make peace as much as possible. So we are very important in terms of keeping the balance of relationships in harmony.</i></p> <p><i>Some of the old leaders recognized that it became increasingly difficult to keep the peace after the Europeans introduced guns. But we still continued to meet, and we still continued to have some wampum, which doesn't mean we negated our territory or gave up our territory – we did not do that. We still consider ourselves a sovereign nation despite legal challenges against that. We still view ourselves as a nation and the government must negotiate from that basis."</i></p> <p>Often times, southern Ontario is described as being "vacant" after the dispersal of the Huron-Wendat peoples in 1649 (who fled east to Quebec and south to the United States). This is misleading as these territories remained the homelands of the Michi Saagiig Nation.</p> <p>The Michi Saagiig participated in eighteen treaties from 1781 to 1923 to allow the growing number of European settlers to establish in Ontario. Pressures from increased settlement forced the Michi Saagiig to slowly move into small family groups around the present day communities: Curve Lake First Nation, Hiawatha First Nation, Alderville First Nation, Scugog Island First Nation, New Credit First Nation, and Mississauga First Nation.</p> <p>The Michi Saagiig have been in Ontario for thousands of years, and they remain here to this day.</p> <p>**This historical context was prepared by Gitiga Migizi, a respected Elder and Knowledge Keeper of the Michi Saagiig Nation.**</p> <p>Publication reference:</p> <p>Gitiga Migizi and Julie Kapyrka 2015 Before, During, and After: Mississauga Presence in the Kawarthas. In <i>Peterborough Archaeology</i>, Dirk Verhulst, editor, pp.127-136. Peterborough, Ontario: Peterborough Chapter of the Ontario Archaeological Society</p> <p><u>Additional Community Perspectives:</u></p> <p>**The following perspectives come from a June 2021 letter provided to Metrolinx from Curve Lake First Nation, on file with ASI.**</p> <p>Curve Lake First Nation 2021 Curve Lake First Nation Review/Comments for: Cultural Heritage Evaluation Report: 571 Kingston Road West, 575 Kingston Road West,</p> |
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| | <p>577 Kingston Road West AND 579 Kingston Road West Town of Ajax, Ontario.</p> <p>“The Duffin’s creek watershed and river mouth are part of an area that should have some recognition in terms of Michi Saagiig history. This area was extremely significant to the Michi Saagiig and is recognized internally as a significant cultural heritage landscape. Recently the Ontario Government has indicated a desire to add increased protection to these areas now referred to as “urban creeks/urban river systems” as part of their Greenbelt protection plan. These systems are at risk across the entirety of the Pickering and Ajax regions, due in large part to settler development activities. What was once a cultural heritage landscape has been significantly degraded which means it has also undergone irreparable ecological damage.”</p> <p>“Our Elders tell of our peoples living harmoniously with the early settlers, often setting up small camps on the edge of farmer’s fields and along shorelines. Families engaged in trade and travel throughout the entire region.”</p> <p>“The cultural heritage landscape, the Duffins Creek Watershed, that existed in the area of study of this CHER, and at the time that the first houses and roads were built, has largely been obliterated – and did not have the opportunity to be assessed and protected. Since then, development has altered the shape and course of the creek – this is clearly visible in the historical pictures provided in this report.”</p> <p>“The very locations of where these buildings were built in relation to where the early towns and villages originated were determined based upon the resources within the particular landscape. Milling was the predominant activity in the region that ultimately attracted more industry to the area. The watershed and local resources on the land were integral to this process. For different reasons, but equally as significant, the Duffins Creek watershed was part of a larger cultural heritage landscape for Michi Saagiig people that included creeks and river mouths all along the shore of Lake Ontario. The value and significance of these lands from a Michi Saagiig perspective is not acknowledged. “</p> <p>“The 28,000 acres that was expropriated for the site of former Defence Industries Ltd was part of a significant cultural heritage landscape that was once entirely connected and spanned along the vast shoreline of Lake Ontario - and would have been used by Michi Saagiig peoples at the time. The massive infrastructure and development of the region resulted in the disconnection of this culturally significant landscape and thus in reduced access for the Michi Saagiig to hunt and fish.”</p> <p>“It should be noted that during these times of industrial and commercial expansion Michi Saagiig peoples were being driven from their lands, their fishing grounds, their hunting grounds, their trapping grounds and harvesting grounds. In some cases they were being shot at and pursued. The 1923 Williams Treaties were a culmination of the increased encroachment on these lands and the harassment and persecution of the First Nations who had rights under the very treaty that allowed for European settlement in this area of Ontario. These large urban developments increased the</p> |
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| | <p>footprint of destruction upon the landscape and in doing so had a detrimental impact upon Michi Saagiig rights to gather foods and live off the land.”</p> <p><i>Note: This oral history reflects community perspective shared as part of Indigenous engagement for this report. The oral history was provided by Curve Lake First Nation and does not necessarily reflect the views of other Indigenous Nations, Metrolinx or ASI.</i></p> |
| Huron-Wendat Nation | <p>As an ancient people, traditionally, the Huron-Wendat, a great Iroquoian civilization of farmers and fishermen-hunter-gatherers representing between 30,000 and 40,000 individuals, traveled widely across a territory stretching from the Gaspé Peninsula in the Gulf of Saint Lawrence and up along the Saint Lawrence Valley on both sides of the Saint Lawrence River all the way to the Great Lakes.</p> <p>According to our own traditions and customs, the Huron-Wendat are intimately linked to the Saint Lawrence River and its estuary, which is the main route of its activities and way of life. The Huron-Wendat formed alliances and traded goods with other First Nations among the networks that stretched across the continent.</p> <p>Today, the population of the Huron-Wendat Nation is composed of 1497 on-reserve members and 2390 off-reserve members for a total of 3900 members of the Huron-Wendat Nation.</p> <p>The Huron-Wendat Nation band council (CNHW) is headquartered in Wendake, the oldest First Nations community in Canada, located on the outskirts of Quebec City (20 km north of the city) on the banks of the Saint Charles River. There is only one Huron-Wendat community, whose ancestral territory is called the Nionwentsio, which translates to "our beautiful land" in the Wendat language.</p> <p>The Huron-Wendat Nation is also the only authority that have the authority and rights to protect and take care of her ancestral sites in Wendake South.</p> <p><i>**This historical context was provided by Maxime Picard in a December 2020 email to Metrolinx, on file with ASI**</i></p> <p><i>Note: This oral history reflects community perspective shared as part of Indigenous engagement for this report. The oral history was provided by Huron-Wendat Nation and does not necessarily reflect the views of other Indigenous Nations, Metrolinx or ASI.</i></p> |